



Builder's Best Home Improvement Center, Inc. Building Expansion

Tax Parcel 95.00-09-01.000

3798 Luker Road

Town of Cortlandville

Cortland County, New York

June 2020

Table of Contents

<i>Project Description</i>	1
<i>Property Description</i>	2
<i>Zoning, Agricultural District, and Special Area Designation</i>	3
<i>Utilities</i>	4
1) <i>Water</i>	
2) <i>Sewage Disposal</i>	
3) <i>Electricity/Natural Gas</i>	
<i>Site Drainage and Storm Water Control</i>	5
1) <i>Floodway/Floodplain</i>	
2) <i>Wetlands</i>	
3) <i>Storm Water/Erosion and Sediment Controls</i>	
<i>Clearing, Grading, Roads</i>	6
<i>Vehicular Traffic and Property Access</i>	7
<i>Buildings</i>	8
<i>Adjoining Property Owners</i>	9
<i>Appendix A – Maps & Figures</i>	10
<i>Appendix B – Misc. Documents</i>	11

Project Description

Builder's Best Home Improvement Center, Inc. has proposed the construction of a ±2,000 square foot addition to house office space at our property located at 3798 Luker Road in the Town of Cortlandville. This expansion—located on the Northeast side of the building, will mirror an addition constructed on the Northwest side of the facility in the 1990's. The addition will also match the materials currently present on the façade, stucco finish and red standing seam roofing.

The addition will house offices for the General Manager, as well as our accounting/office staff. There will also be a conference room. The project does not include any additional bathrooms.

This addition will be built on an area that is currently paved, employee parking. As such, the additional building area will not add to the lot coverage. However, the plan calls for the current parking lot to be expanded by 3,400 square feet into an area that is currently gravel and grass, to account for the lost parking spots.

The impacted property is depicted on a location map included in Appendix A (*Map 1*).

As office space, this addition will be conditioned space and will conform to all necessary State of New York and Town of Cortlandville building codes. No bathrooms, sinks, or drains will be located in this addition, so no water or septic will be modified. The space will be heated by natural gas and supplied with electricity.

Property Description

As shown on the Cortland County tax map (*Map 2*), Builder's Best owns an 11.6-acre parcel on Luker Road.

Currently, that parcel contains a large, retail lumberyard with an attached warehouse, as well as a separate open-sided warehouse for lumber storage, and an additional enclosed cold-storage warehouse. A paved parking lot, and gravel roadways are also present. The balance of the land is open grassland, or early mid-successional plants.

Builder's Best's parcel is bordered on the north by Luker Road, on the east, by a vehicle repair business (Petrella's Autobody) and the Cortland Water Works, on the south by open, formerly agricultural land, and on the west by self-storage units (Cortland Self Storage).

The property is located in the Otter Creek watershed. Otter Creek is located approximately 250 feet from the Builder's Best property line, and approximately 400 feet from the project site.

Per the Cortland County Planning GIS service and Google Earth topographic information, elevations across the property range from roughly 1,149 feet above mean sea level (msl) in the northeast portion of the property, to 1,155 msl on the southwestern section. The proposed building site is roughly 1,151 msl.

Per the New York State Department of Environmental Conservation (DEC) Environmental Resource Mapper, there are no designated Critical Environmental Areas or unique/unusual land forms on the proposed construction site (*Appendix A – Map 3*).

Zoning, Agricultural District, and Special Area Designation

Zoning:

According to the Town of Cortlandville Zoning Map, as found on the Cortland County GIS Viewer (Appendix A – **Map 4**), Builder’s Best is zoned as a commercial business district, “B-3”.

As the plan calls for the addition of ±2,000 square feet of office space, and the commensurate parking improvements, no variance is required or requested.

As the project exceeds \$150,000 in renovation, the project requires an aquifer protection permit (Art. 178-46B of the Town of Cortlandville Code). The paperwork has been submitted for that permit.

As the project is an allowable usage for “B-3” zoning, the project requires site plan approval (Art. 176-36.8). That application is also included.

Agricultural District:

The property is not located in an agricultural district as shown in **Map 5**, located in Appendix A.

Special Area Designation:

As shown on the attached map (Appendix A – **Map 6**) from the New York State Office of Parks, Recreation, and Historic Preservation, the property is not located in an area that might be of archaeological significance.

The property is not located in any other special area designations.

Utilities

As an addition, no new utility services will be necessary for the building. Electric will be extended into the addition and will continue to be delivered by National Grid. Natural gas, for purposes of heating, will also be extended into the addition and will continue to be delivered by NYSEG. Town of Cortlandville Water and City of Cortland Sewer are available, though the site is served by private well and private septic. None of these utilities will be extended to the new addition.

Site Drainage and Storm Water Control

Floodway/Floodplain

The property is located in the Otter Creek watershed. Otter Creek, which is located approximately 250 feet south of the site is a tributary to the West Branch of the Tioughnioga River.

Based on a review of the available federal, state, and local flood maps and other information, the property is located in the 100-year and 500-year floodplain of Otter Creek (Appendix A – **Map 7**). However, the construction area is *not* located in the flood plain.

Wetlands

Based on the wetlands map located on Cortland County GIS Viewer (Appendix A – **Map 8**), there are no mapped state- or federally-regulated wetlands on the subject property. There are mapped wetlands located on an adjoining parcel (Waterworks).

Storm Water/Erosion and Sediment Control

Per conversations with Steve McElwain of McElwain Engineering, Brent Cross, P.E., and Kathy McGrath of the Cortland County Soil and Water Conservation District, the proposed addition will involve the disturbance of land in which the construction activities may result in the discharge of storm water from the property into waters of the United States. As such, the project will be subject to the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) program which includes the General Permit GP-0-15-002 for storm water discharges from construction sites. These discharges are addressed in the attached site plan prepared by Steve McElwain.

Because the project will disturb less than one acre of land, a Storm Water Pollution Prevention Plan (SWPPP) has been prepared without post-construction controls for storm water quantity control. The project falls under the definition of a “Redevelopment Activity” under the NYSDEC Stormwater Management Design Manual. Consequently, only provisions for controlling the Water Quality Volume generated from the project have been included in the SWPPP. The SWPPP addresses the planned erosion and sediment control measures and Water Quality Volume control measures in order to fulfill the General Permit requirements for controlling/minimizing soil erosion and off-site sediment deposition.

Clearing, Grading, and Roads

Currently, the area of proposed construction is generally flat and is devoid of significant vegetation.

Grading will generally be limited to that area within 20 feet of the footprint of the new addition, and within 15 feet of the edge of the new parking areas. There may be incidental ground disturbance for the placement of footers and the grading of the parking area, though no significant grade changes are planned.

Vehicular Traffic and Property Access

Traffic patterns and flow will not be altered by this addition. Parking areas while shifted, will not be increased, and no roadways will be modified.

Access to Builder's Best will continue to be from Luker Road, and will continue in the same location, unchanged.

Building

As noted, the project will comprise a ±2,000 square foot addition for office space. This addition will be approximately 100' in length, by 20' in depth.

The structure will be steel-framed, with a concrete, slab-on-grade floor. The siding will match the existing building with a light gray, EIFS or stucco finish. A series of windows will match the opposite side of the building, and any current door openings will be extended to match. The roof will match the signature red, standing-seam roof already in place.

The new space will house a general manager's office (14'x14'), a conference room (14'x10'), an accounting office (32'x20') and a few small closets. It will also extend a heated storage room.

The parking lot will also be extended to maintain the current number of parking spots.

No other exterior changes will be made, and no hazardous materials will be stored in the impacted area.

A copy of the building plans is enclosed, and a rendering is also included.

Adjoining Property Owners

A list of adjoining property owners is shown below:

<u>Tax Parcel ID</u>	<u>Reputed Owner</u>
85.20-01-32.112	Daniel Mones
85.20-01-32.200	Daniel Mones
85.20-01-33.000	Christopher Cummins
85.20-01-34.000	Kevin Hawks
85.20-01-35.121	Fred Kraft, Jr.
86.17-01-01.000	Prop, Inc.
86.17-01-12.200	Prop, Inc.
86.17-01-14.000	City of Cortland
86.17-02-01.100	Bestway Enterprises, Inc.
86.17-02-05.100	Luker Road Properties, LLC
95.00-09-03.000	Abe-Rich Enterprises
95.00-09-04.000	Mart Inn, Inc.
95.08-01-18.000	Lowell Properties, LLC
95.08-01-19.000	Lowell Properties, LLC

Appendix A

Map 1 – Location Map

Map 2 – Tax Parcel Map

Map 3 – Critical Environmental Area Map

Map 4 – Zoning Map

Map 5 – Agricultural District Map

Map 6 – Special Area Map

Map 7 – Flood Map

Map 8 – Wetland Map

Appendix B

1 – Renderings

2 – Survey

3 – Building Plans

4 – Site Plan

5 – Aquifer Protection Permit

6 – Site Plan Review Form

7 – Short Form Environmental Form

8 – GML Application



Map 1 - Topo Location Map

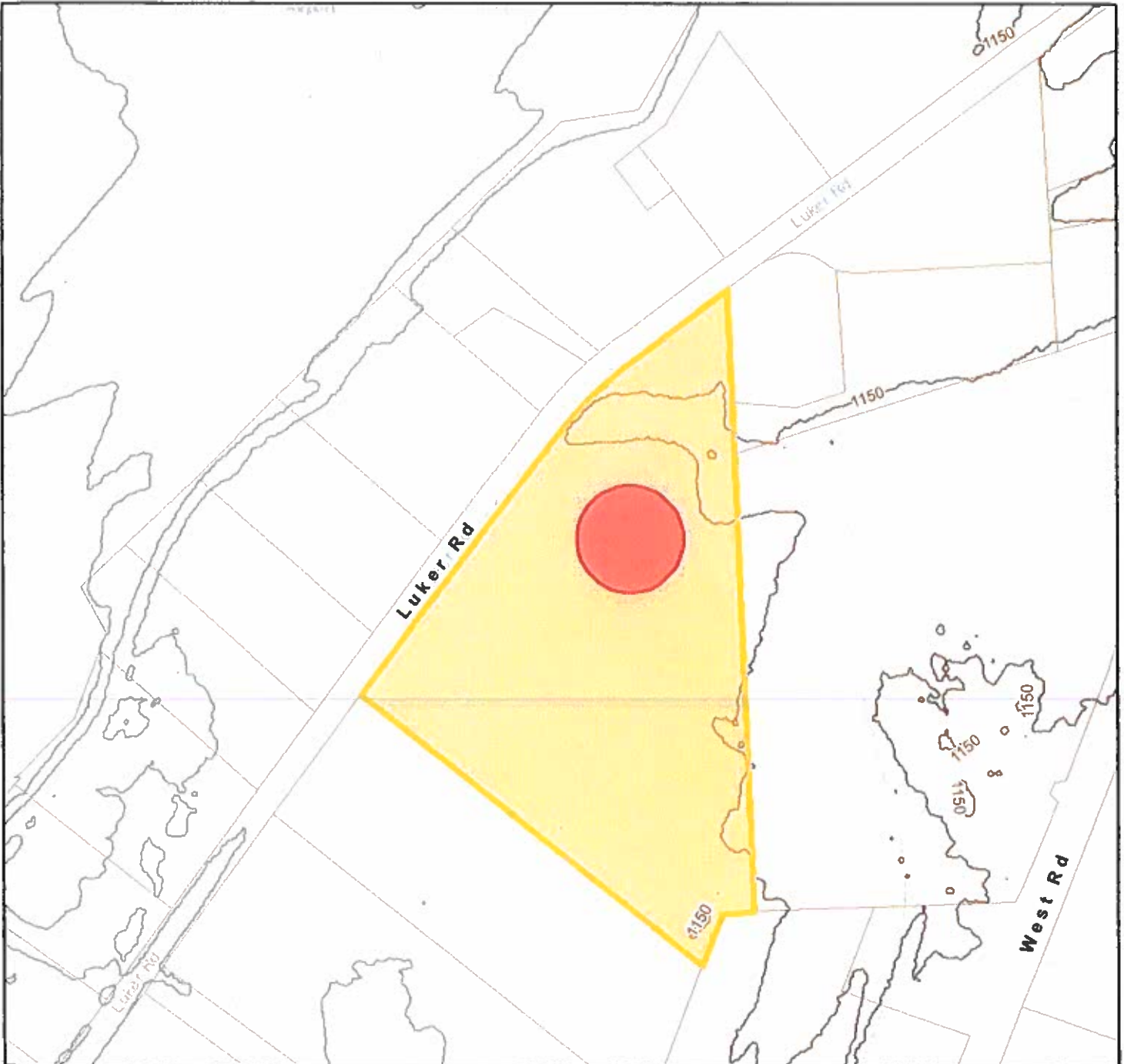
****Red Circle Indicates Location of Addition****



1 inch = 277 Feet



June 4, 2020



Street Names	
	Parcel Lines - No Ortho
	cortlandville_topo_50ft
	cortlandville_topo_10ft

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Map 2 - Tax Parcel Map

Cortland County, NY



1 inch = 277 Feet



June 4, 2020



	Street Names
	Parcel Lines - Ortho
	Tax Map Text - Ortho

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Map 3

New York State Department of Environmental Conservation Environmental Resource Mapper.

← → ↻ 🔒 Not secure | www.dec.ny.gov/gis/ermv | Apps | Home — Politics, C... | Energy Commodities | Payroll | outdoor fireplace C... | Lab Equipment

 **Services** **News** **Government** **Local**

★ 📍 🏠 🗺️ 📄 📄 📄 Other bookmarks

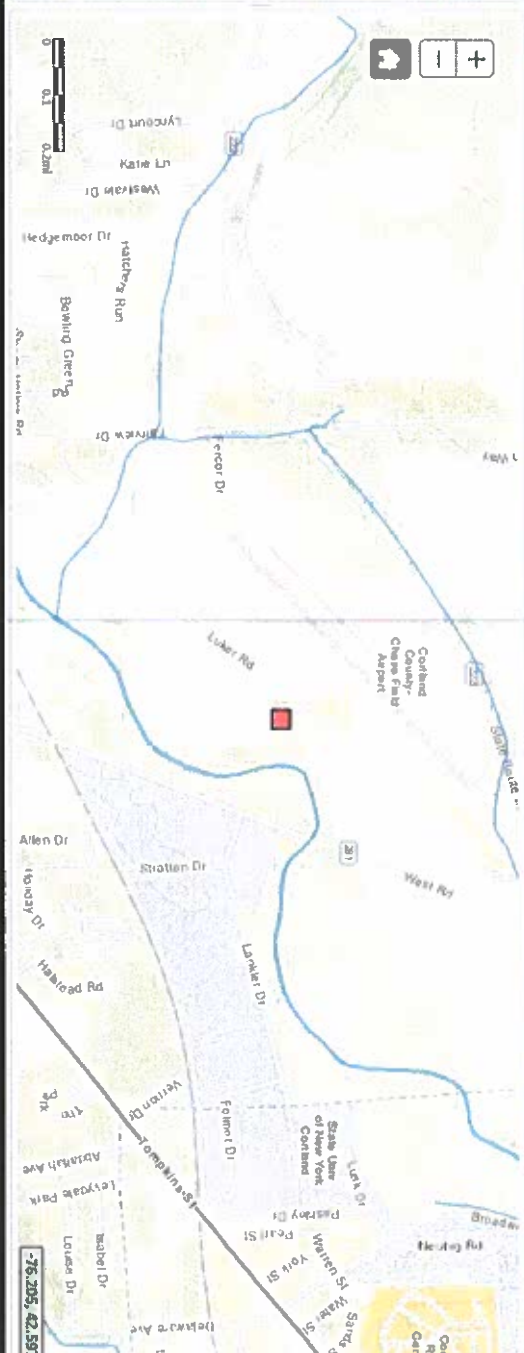
Translate

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Environmental Resource Mapper

Base Map: Topographical • Using this map

Search
Tools
Layers and Legend
All Layers
★ Unique Geological Features
📍 Waterbody Classifications for Rivers/Streams
📍 Waterbody Classifications for Lakes
Other Wetland Layers
Reference Layers
Tell Me More...
Need A Permit?
Contacts



0 0.1 0.2mi

Agents Services
App Directory
Courses
Events
Programs



Map 4 - Zoning Map

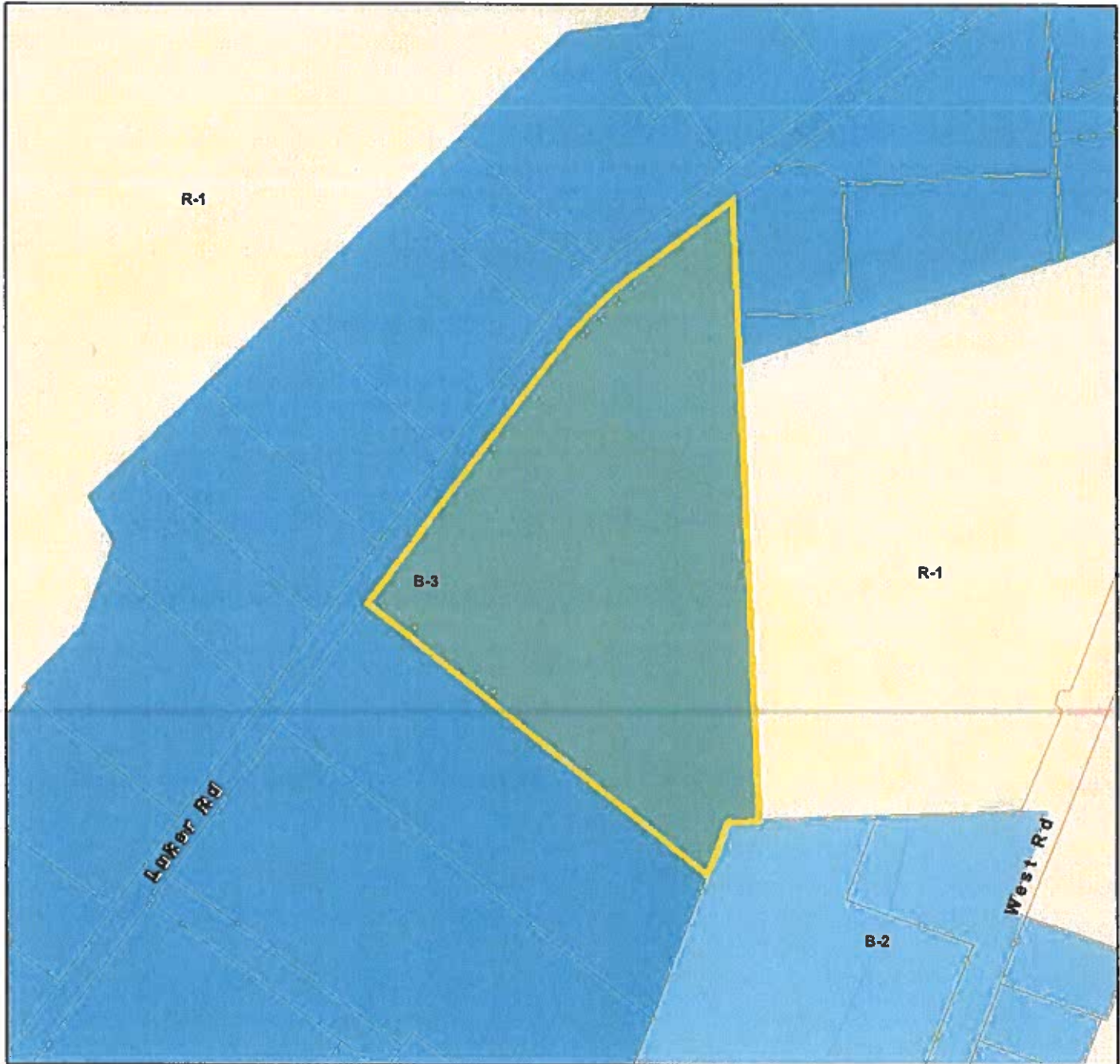
Cortland County, NY



1 inch = 277 Feet



June 4, 2020



Street Names	
	R-1
	B-2
	B-3

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Map 5 - Agricultural District

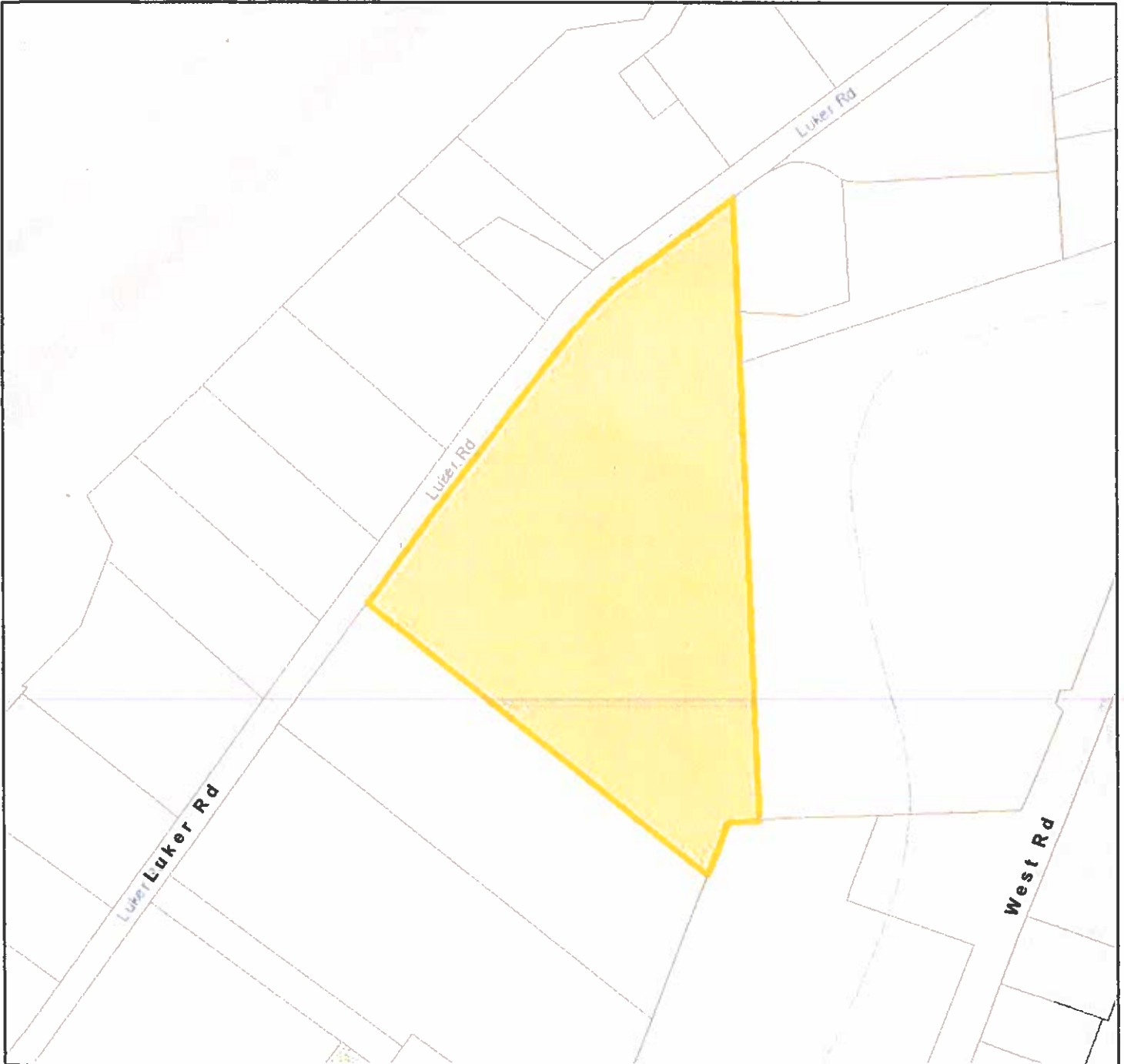
Cortland County, NY



1 inch = 277 Feet



June 4, 2020



	Street Names
	Parcel Lines - No Ortho
	Agricultural District

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Map 6

NYS Office of Parks, Recreation, and Historic Preservation Cultural Resource Information System.

The screenshot displays the CRITS (Cultural Resource Information System) web application. The interface includes a top navigation bar with the CRITS logo and links for HOME, SUBMIT, SEARCH, and COMMUNICATE. A secondary navigation bar contains links for Apps, Home, Politics, Energy, Commodities, Payroll, outdoor fireplace, and Lab Equipment. The main content area features a satellite map of a large industrial or research facility. A legend in the top right corner identifies 'USN Building Points (View)' with categories: Eligible (green), Listed (yellow), Not Eligible (red), Not Eligible - Demolished (blue), and Undetermined (black). A 'National Register Building Sites (View)' legend is also present. The map shows several buildings, with one building highlighted in red (Not Eligible) and another in yellow (Listed). Green lines delineate various areas on the map. The bottom of the screen shows a footer with '© 2019 New York State Office of Parks, Recreation & Historic Preservation. All rights reserved.' and the ESRI logo.

Accessed 6/2/2020



Map 7 - Flood Zones

Cortland County, NY



1 inch = 277 Feet



June 4, 2020



	Street Names
	Parcel Lines - Ortho
	AE
	0.2 PCT ANNUAL CHANCE FLOOD HAZARD

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Map 8 - Wetland Map

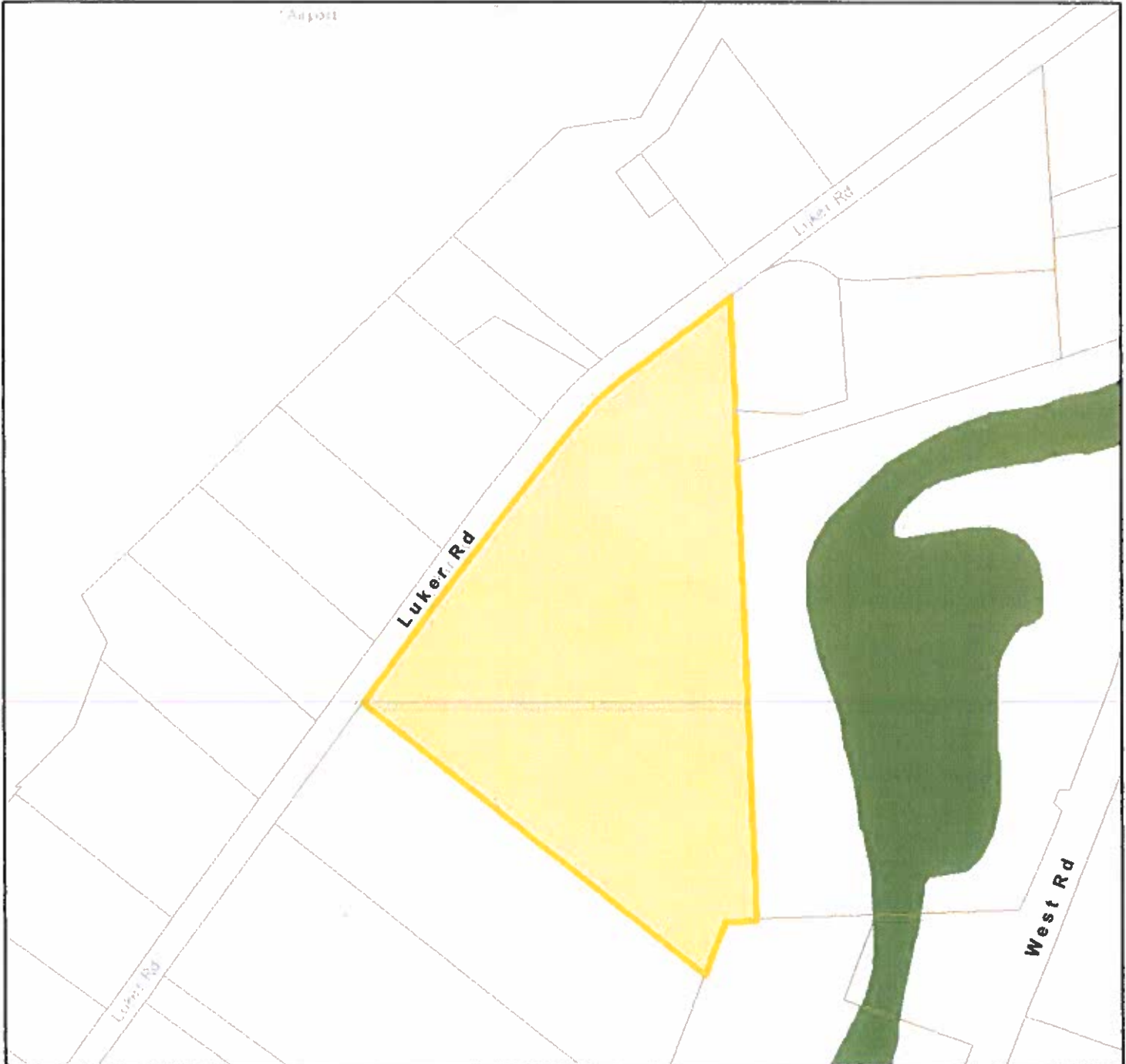
Cortland County, NY



1 inch = 277 Feet

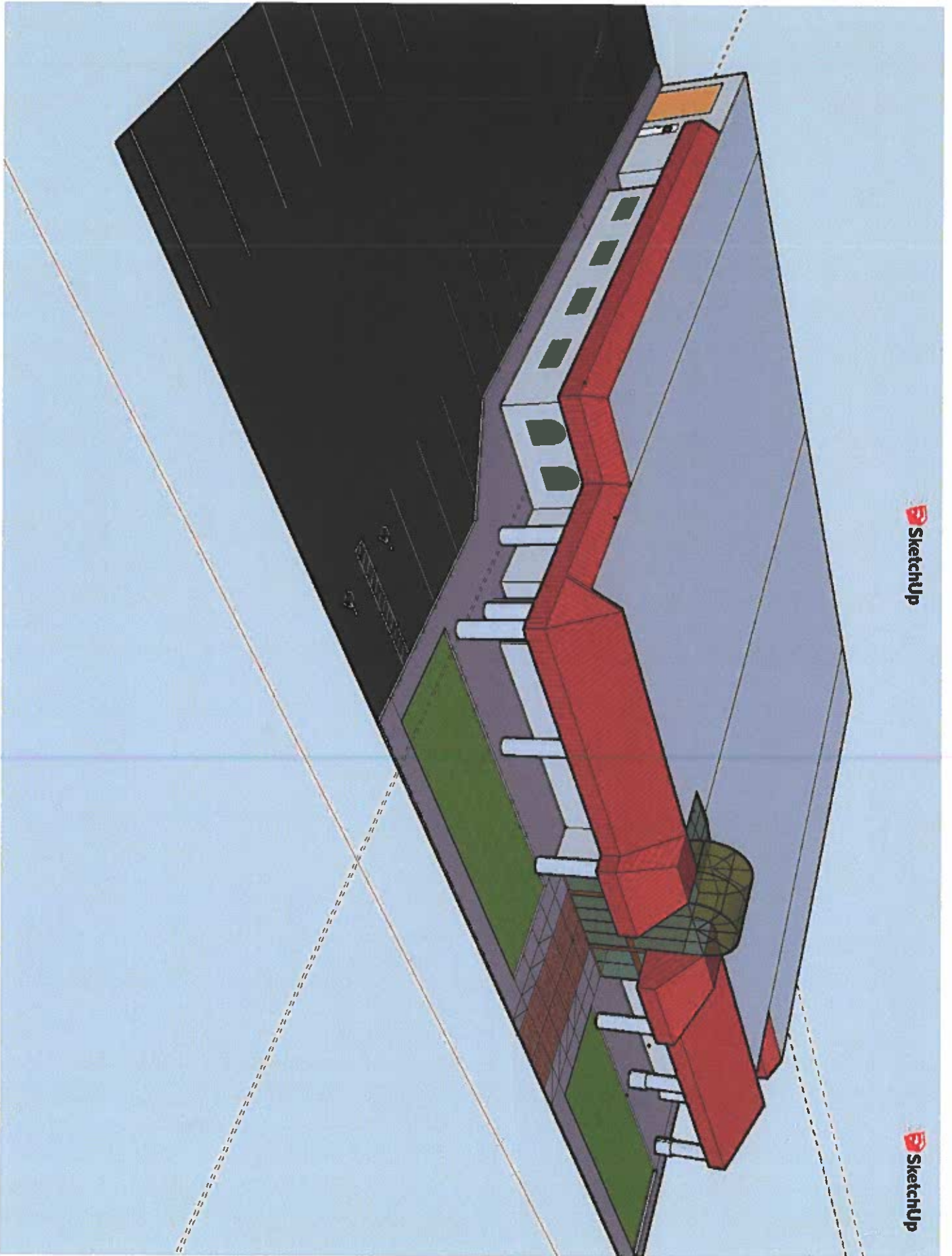


June 4, 2020



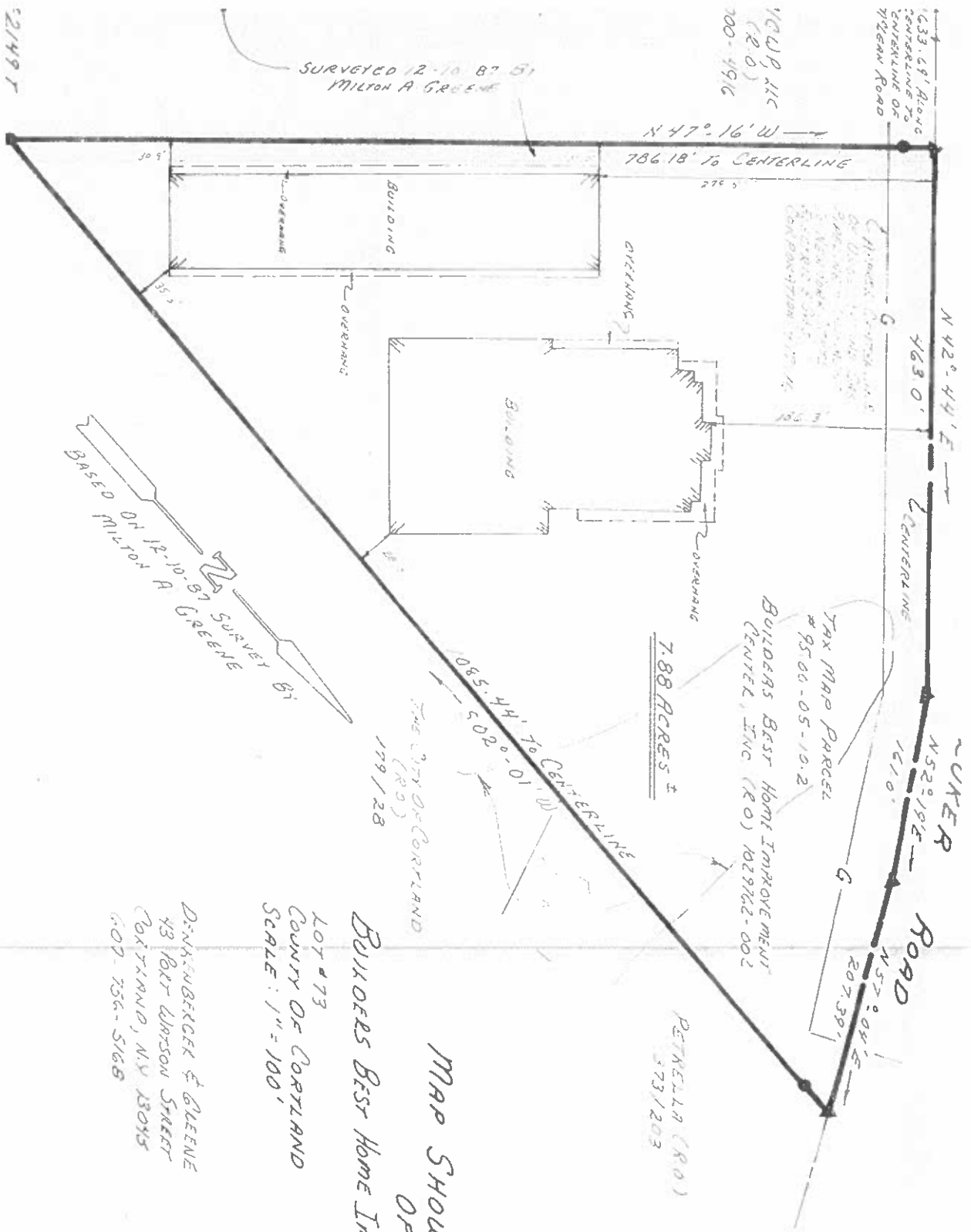
	Street Names
	Parcel Lines - No Ortho
	NWI Wetlands

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



SketchUp

SketchUp



1633.69' Along
CENTERLINE TO
WAGON ROAD

N 47° 16' W
786.18' TO CENTERLINE

N 42° 44' E
1630.0'

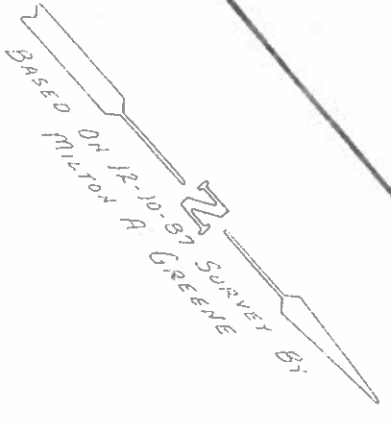
UKER
ROAD
N 52° 19' E
1610'

N 57° 04' E
207.39'

PETKELLA (R.O.)
373/203

SURVEYED 12-10-87 BY
MILTON A GREENE

12/1997



TAX MAP PARCEL
9500-05-10.2
BUILDERS BEST HOME IMPROVEMENT
CENTER, INC (R.O) 1029762-002

7.88 ACRES ±

N 85° 44' E TO CENTERLINE
N 50° 10' W
THE CITY OF CORTLAND
(R.O.)
179/28

MAP SHOWING LANDS
OF

BUILDERS BEST HOME IMPROVEMENT CENTER, INC.

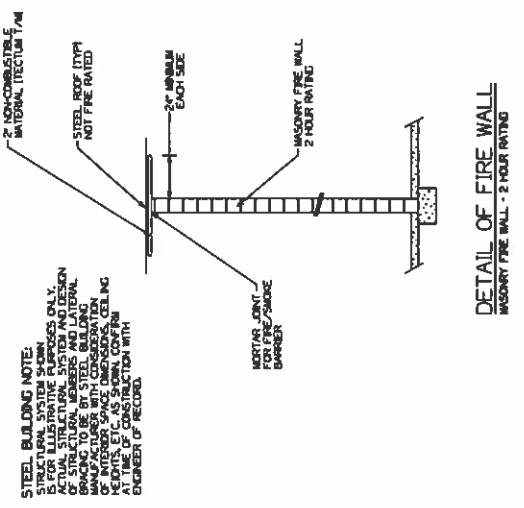
LOT # 73
COUNTY OF CORTLAND
SCALE: 1" = 100'

DINKENBERGER & BLEENE
43 FORT LINTON STREET
CORTLAND, NY 13045
(607) 756-5168

TOWN OF CORTLANDVILLE
STATE OF NEW YORK
MARCH 23, 1990
REVISED: 4-6-90
REVISED: 12-14-04

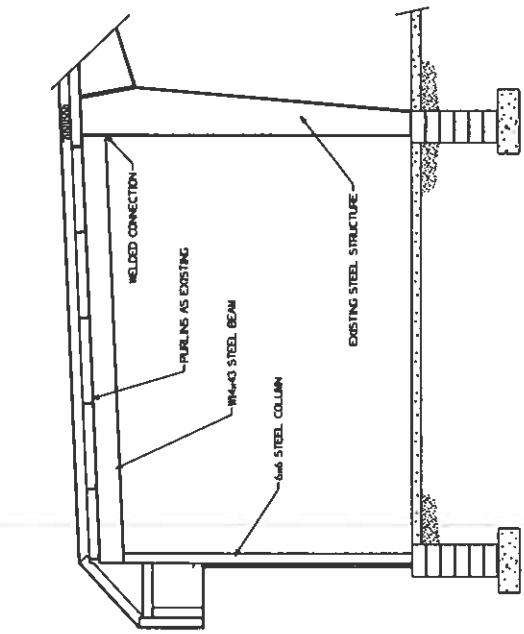
James J. DeLuca

05-00-04-01
P. 114-2-10-01

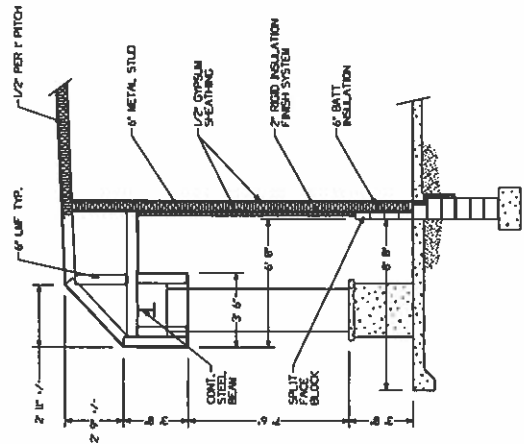


DETAIL OF FIRE WALL
 MASONRY FIRE WALL - 2 HOUR RATING

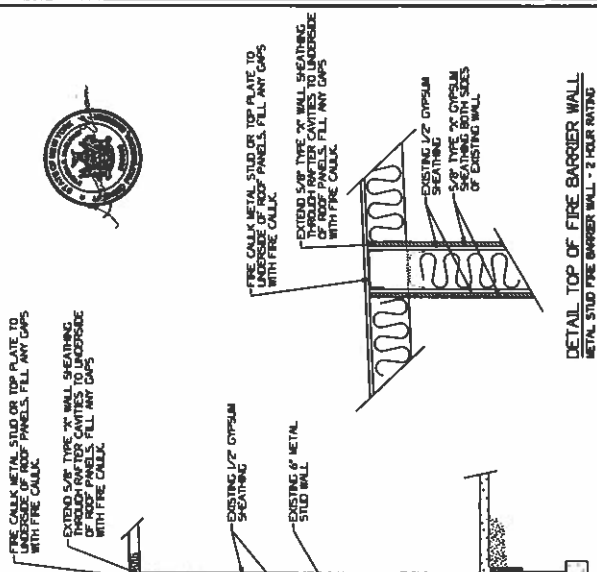
STEEL BUILDING NOTE:
 1. STRUCTURAL SYSTEM SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY.
 2. ALL STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
 3. BRACING TO BE BY STEEL BUILDING MANUFACTURER'S RECOMMENDATION.
 4. INTERIOR SPACE DIMENSIONS, CEILING HEIGHTS, ETC., AS SHOWN, CONTROL CONTRACTOR'S OBLIGATION WITH ENGINEER OF RECORD.



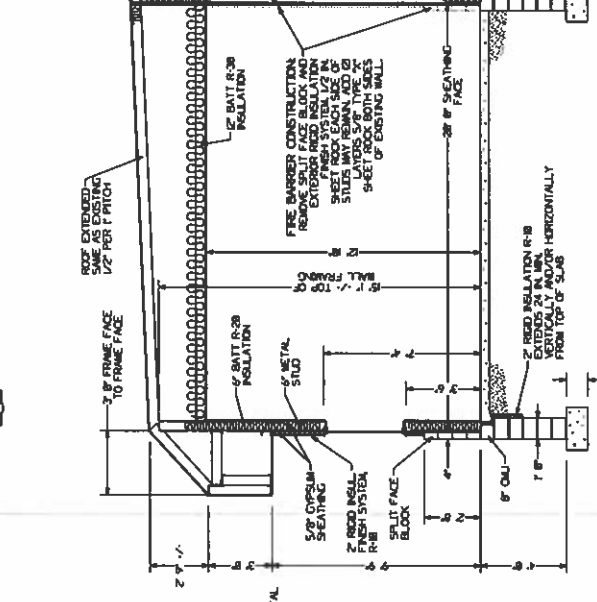
FRAMING SECTION



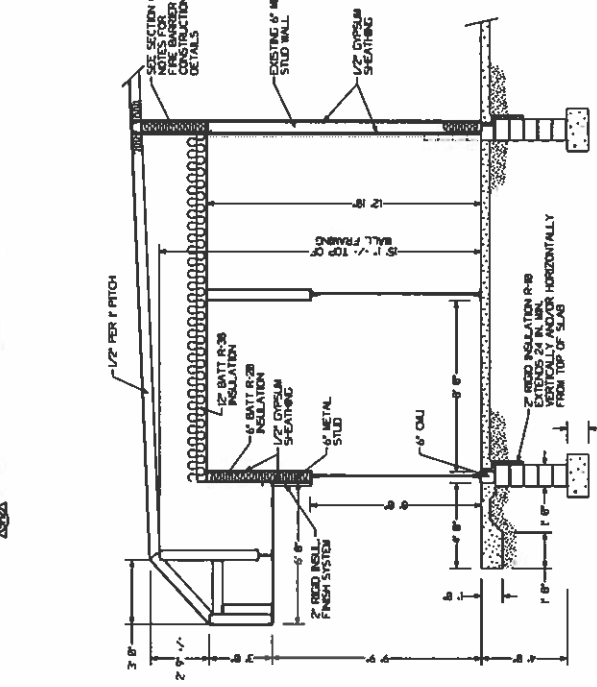
EXISTING FACADE CROSS SECTION



DETAIL TOP OF FIRE BARRIER WALL
 METAL STUD FIRE BARRIER WALL - 2 HOUR RATING



TYPICAL CROSS SECTION

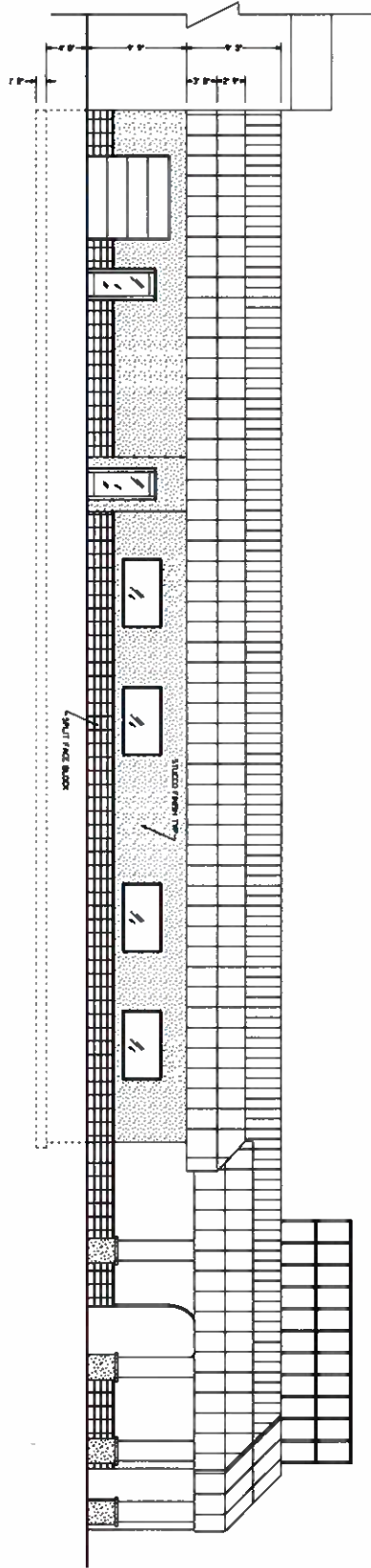


ENTRY CROSS SECTION

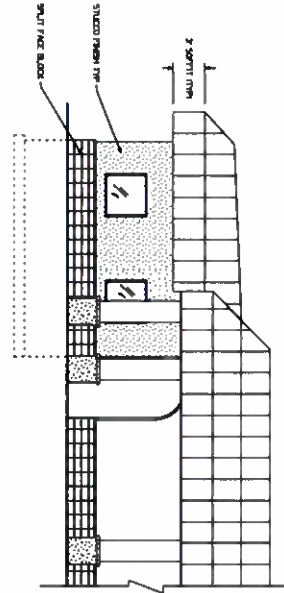
FENESTRATION MAXIMUM U-FACTOR:
 1.00 WIND
 0.25 DOORS
 0.17 OVERHEAD DOORS

GENERAL NOTES:
 1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE AS SHOWN.
 2. ALL MATERIALS SHALL BE AS SHOWN.
 3. ALL MATERIALS SHALL BE AS SHOWN.
 4. ALL MATERIALS SHALL BE AS SHOWN.

REF. DRAWINGS: 9720, 98047



LEFT ELEVATION



FRONT ELEVATION

REF. DIMENSIONS: 07/21/1987

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. ALL UTILITIES SHALL BE PROTECTED AND DEEPLY REPAIRED.
 7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND SIDEWALKS.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 10. ALL WORK SHALL BE SUBJECT TO THE SUPERVISION AND CONTROL OF THE ARCHITECT.



McLwain Engineering
 PO BOX 127, 5 PARK STREET
 NEWARK VALLEY, NEW YORK 13861
 518-537-9799 FAX 518-537-9798

ADDITION
 BUILDER'S BEST
 3798 LILKER ROAD, TOWN OF CORTLANDVILLE
 CORTLAND COUNTY, NEW YORK

ELEVATIONS	
NO. 10824	DATE
BY 3/27 - F	DRAWN
26 MAY 28	SHEET 4 OF 4

TOWN OF CORTLANDVILLE
3577 TERRACE ROAD
CORTLAND, NEW YORK 13045-3552

AQUIFER PROTECTION DISTRICT SPECIAL PERMIT

APPLICANT

Fee Paid _____

Name Buider's Best Home
Improvement Center Inc. Phone _____

Address 3798 Luker Rd Cortland, NY 13045

PROPERTY OWNER

Name Buider's Best Home Phone 607-756-7871
Improvement Center Inc

Address 3798 Luker Rd Cortland, NY 13045

If applicant is a Corporation, list name, address, phone and fax numbers of all corporate officers and directors on reverse side.

PROPERTY INFORMATION

Location of property 3798 Luker Rd Cortland, NY 13045

Tax Map No. of Parcel 95.00-09-01-000

PROPERTY ACQUIRED ON, OR PENDING DATE OF AQUISION 2/1988

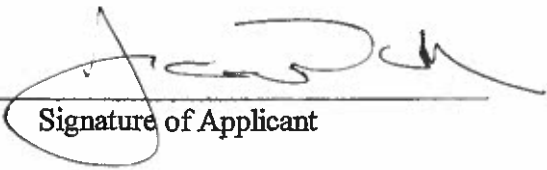
IS PROPERTY IN FLOOD PLAIN? YES NO

AQUIFER PROTECTION AREA _____

ZONING DISTRICT B.3

Information to be provided as per Article and Section 178-47 of the Town of Cortlandville Zoning Law.

DATE OF APPLICATION 5/19/20


Signature of Applicant

Zoning Officer

Supervisor

PERMIT GRANTED _____

PERMIT DENIED _____

TOWN OF CORTLANDVILLE
3577 TERRACE ROAD
CORTLAND, NEW YORK 13045-3552

APPLICATION FOR SITE PLAN APPROVAL

APPLICANT

Builder's Best Home
Name Improvement Center, Inc Fee Paid _____

Address 3798 LUKER RD Phone 607-756-7871

Cortland, NY 13045

PROPERTY OWNER

Builder's Best Home
Name Improvement Center Inc. Phone 607-756-7871

Address 3798 Luker Rd.

Cortland, NY 13045

PROPERTY INFORMATION

Location of property 3798 LUKER RD Cortland, NY 13045
Tax Map No. of Parcel 95.00-09-01.000

PROPERTY ACQUIRED ON, OR PENDING DATE OF AQUISION ~ 1988

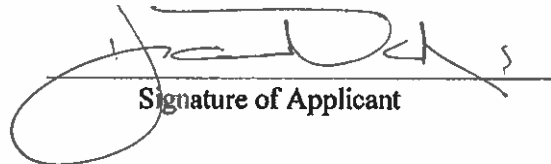
IS PROPERTY IN FLOOD PLAIN? YES NO

ZONING DISTRICT B-3

PROJECT DISCRPTION 2040 s.f. Addition to retail store & 3,400 SF parking relocation

Information to be included will be drawn from a check list in Article XIII, Section 178-71 of the Cortlandville Zoning Law. A sketch plan conference may be deemed necessary by the Planning Board.

DATE OF APPLICATION 5/29/20


Signature of Applicant

Zoning Officer

Planning Board Chairperson

PERMIT GRANTED _____

PERMIT DENIED _____

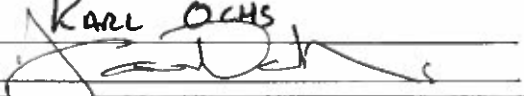
617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Builder's Best Home Improvement Center, Inc.			
Name of Action or Project: office expansion			
Project Location (describe, and attach a location map): 3798 Laker Rd Cortland, NY - Retail lumber yard			
Brief Description of Proposed Action: We plan to add 2,040 s.f. of office space to the northeast corner of Builder's Best. This would mirror an addition on the northwest corner added some 20 years ago. Offices would be housed in this addition for the G.M. + acct. staff. The parking lot would be extended to accommodate the spots lost w/ this addition. This will make the northeast side identical to the northwest side.			
Name of Applicant or Sponsor: Builder's Best Home Improvement Center, Inc.		Telephone: 607-756-7871	
		E-Mail: aporter@bestwaylumber.com	
Address: 3798 Laker Rd.			
City/PO: Cortland		State: NY	Zip Code: 13045
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
			X
3.a. Total acreage of the site of the proposed action?		7.88	acres
b. Total acreage to be physically disturbed?		0.12	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11.6	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>KARL OCHS</u>	Date: <u>5/29/2020</u>	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Moderate to large impact may occur	small impact may occur	10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	
		11. Will the proposed action create a hazard to environmental resources or human health?	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, reversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

GENERAL MUNICIPAL LAW

Zoning Referral Form

Conditional Permits, Special Permits, Site Plan Reviews & Variances

Director
CORTLAND COUNTY PLANNING DEPARTMENT
37 Church St.
Cortland, NY 13045-2838
Telephone: (607) 753-5043
Fax: (607) 753-5150

GML No. 95.00-09-01.000
(Tax Map Number)

Date: 5/29/2020

Submitting Officer: Bruce Weber, Planning & Zoning Officer

Municipality: Town of Cortlandville

Mailing Address: 3577 Terrace Road, Cortland, NY 13045

Phone Number: (607) 756-7052

Fax Number: (607) 758-7922

Type of Referral

The applicant request the following:

Variance: _____ Bulk – Article _____
_____ Use – Article _____

Section _____
Section _____

Special Permit: Article 178

Section 46B

Conditional Permit: Article _____

Section _____

Site Plan Review: Article 178

Section 36.8

Reason(s) for request: Addition (2,000 sf) plus extension of parking lot.

Is the above action a Type 1 _____, Type 2 X, or unlisted action under the State Environmental Quality Review Act? Attach required environmental assessment forms for Type I and unlisted actions.

The following information is required for your application to be complete:

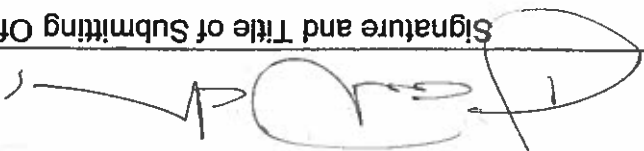
1. Name of petitioner: Builder's Best Home Improvement Center, Inc.

Owners name (if different): _____

Date of acquisition: 2/1988

(REVISED: 8/01)

Signature and Title of Submitting Official



NOTE: All maps require the name and address of the N.Y.S. licensed engineer or land surveyor responsible for preparing the seal and map.

9. Traffic generation (expected vehicle departures and arrivals per 24 hour period): No change

8. Projected energy consumption: minimal increase for lights Type: electric

7. School District: Cortland and Unincorporated

6. Does Site Plan conform to county land use plan? yes If not why? _____

5. Does Site Plan conform to municipal master plan? yes If not why? _____

Special services required: none

Fire Protection yes District Cortland; Refuse Collection _____

Water _____ District _____; Sewer _____ District _____

4. Availability of public utilities and services:

3. A certified Tax Map from the Cortland County Office of Real Property and Assessment showing the property lines of the applicant's property.

- (1) zoning classification of subject and adjoining properties
- (2) surrounding land use within 500 feet of subject property
- (3) surrounding zoning classifications

h. Area Map at 1"=200' or an agreed upon scale

g. Location Map at 1"=1000' scale

General Municipal Law

f. Location of County or State facility pursuant to Section 239 l, m and n of the

e. Surface and Subsurface Drainage Plan, incorporated with Layout Plan

d. Layout Plan Showing buildings, parking and available utilities

c. Physical Characteristics of Site, existing and proposed (Topography, Water and Vegetation)

b. North Arrow

larger than 1 acre)

a. Scale (1 inch equals 20 feet if site is less than 1 acre or an agreed upon scale for a site

2. A Site Plan Map showing:

Phone Number: 607-756-7871 Fax Number: _____

State: NY Zip: 13045

Address: 3798 Luker Rd Cortland