

SSC CORTLANDVILLE III LLC

4240 BELL CREST DRIVE
CORTLAND, NY 13045

DELTA PROJECT NO. 2020.260.001
ORIGINAL SUBMISSION JULY 22, 2020
REVISED SUBMISSION AUGUST 17, 2020
PLANNING BOARD

INDEX OF DRAWINGS

GENERAL

CVIII-TS TITLE SHEET

CIVIL

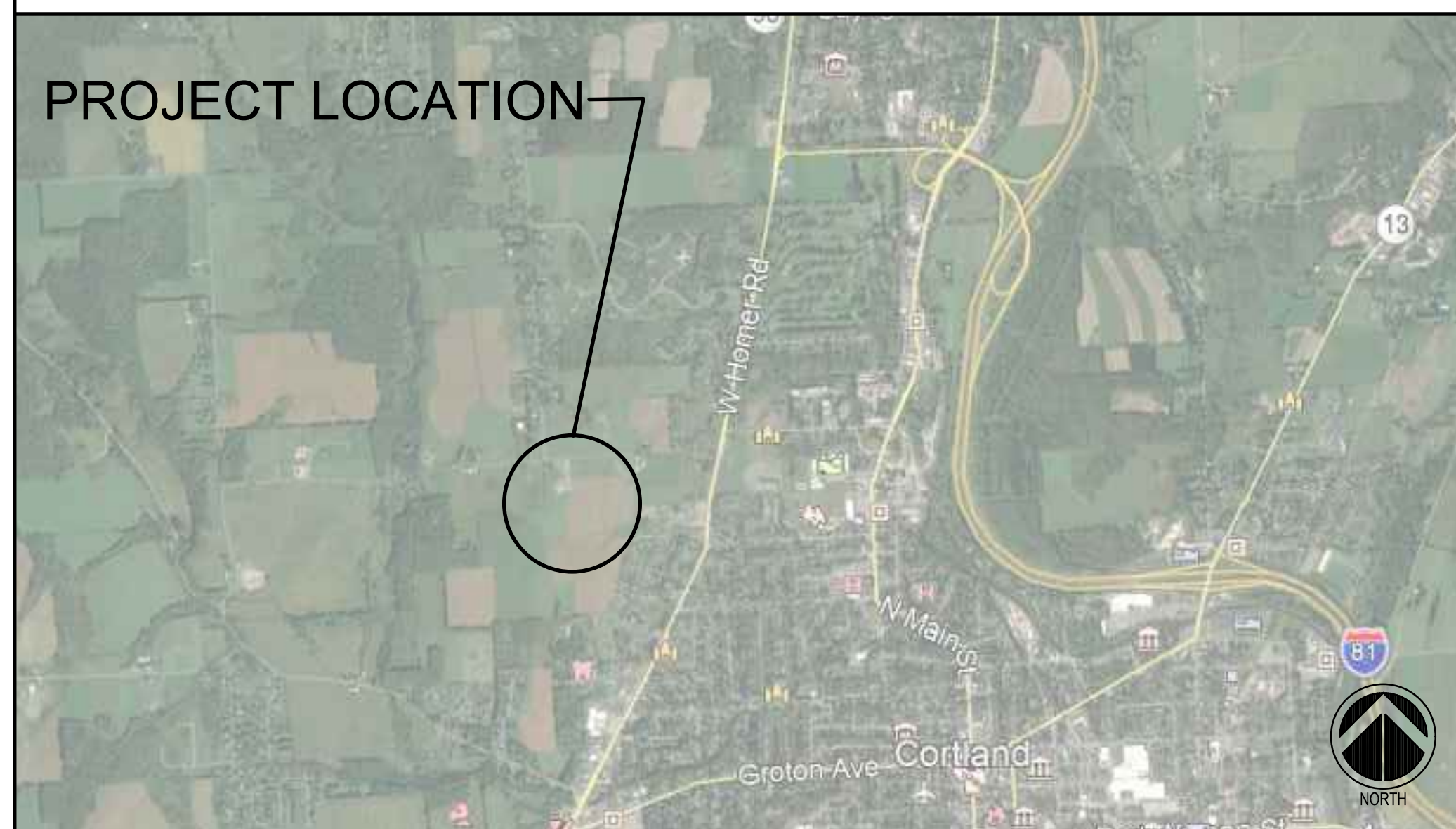
CVIII-100 EXISTING SITE CONDITIONS
CVIII-101 EROSION AND SEDIMENT CONTROLS PLAN
CVIII-200 SITE PLAN
CVIII-300 DETAILS
CVIII-301 DETAILS

ARCHITECT/ENGINEER



860 Hooper Road
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www.delta-eas.com

PROJECT LOCATION



OWNER



SSC Cortlandville III LLC
334 Arapahoe Ave
Boulder, CO 80302
Tel: 561.866.8234
Email: john@summitsolarcapital.com

TS



EXISTING CONDITIONS LEGEND:

PROPERTY LINE	---
SETBACK LINE	---
EXISTING GROUND CONTOUR	---360---
WETLAND BOUNDARY	[Hatched pattern]
EXISTING OVERHEAD ELECTRIC LINE	— OH — OH — OH —
EXISTING PAVEMENT AREA	[Solid grey box]
EXISTING TREE LINE	[Wavy line]

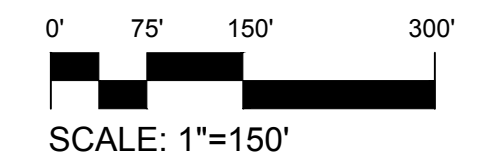
- GENERAL NOTES:**
- GROUND CONTOUR LINES SHOWN IN THIS DRAWING WERE ADDED USING INFORMATION FROM THE NEW YORK STATE CLEARING HOUSE WEBSITE.
 - PROPERTY LINES ARE APPROXIMATE AND BASED ON TAX MAP INFORMATION.
 - WETLANDS WERE RECENTLY MAPPED AND UNKNOWN TO STATE AND FEDERAL AGENCIES.

1
CVIII-100

EXISTING SITE CONDITIONS

SCALE: 1" = 150'

NORTH



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Key Plan

NOT FOR CONSTRUCTION

No.	Revision	Date
1	Revised Solar Layout	8/17/2020

Project Name
SSC CORTLANDVILLE III LLC
 TOWN OF CORTLANDVILLE, NEW YORK STATE

DELTA
 ENGINEERS, ARCHITECTS, & SURVEYORS
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Seal	Phase PLANNING BOARD
	Project No. 2020.261.001
	UNPROCESSED AT DEPARTMENT OF THE DRAWING E.A. REGULATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 7004, SUBDIVISION 2
Date	2020.07.22

Drawing Title
EXISTING SITE CONDITIONS

Drawing No.
CVIII-100



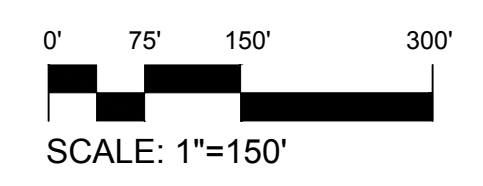
EXISTING CONDITIONS LEGEND:	
PROPERTY LINE	---
SETBACK LINE	---
EXISTING GROUND CONTOUR	---360---
WETLAND BOUNDARY	▨
EXISTING OVERHEAD ELECTRIC LINE	— OH — OH — OH —
EXISTING PAVEMENT AREA	▭
EXISTING TREE LINE	~~~~~

EROSION AND SEDIMENT CONTROL LEGEND:	
SILT FENCE	—●—●—●—●—
PERVIOUS ACCESS ROAD	▨
STABILIZED CONSTRUCTION ENTRANCE	▨
25' VEGETATIVE BUFFER	---
CLEAR AND GRUB AREA	---

1 EROSION AND SEDIMENT CONTROLS PLAN
 CVIII-101 SCALE: 1"=150'



#	KEY NOTES
1	PROVIDE SILT FENCE. ADJUST AS NEEDED AS LAND CLEARING PROGRESSES. TYP. SEE DETAIL 2/CVIII-301.
2	PROVIDE STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL 1/CVIII-301.
3	MAINTAIN 25' VEGETATED BUFFER WITH SELECTIVE CLEARING AT WETLAND BOUNDARIES, TYP.
4	CLEARING AND GRUBBING AREA, TYP.



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	UNPROCESSED ALTERNATION OF THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 7500, SUBSECTION 2.
Date	2020.07.22

Drawing Title
EROSION AND SEDIMENT CONTROLS PLAN

Drawing No.
CVIII-101

Key Plan

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 EDUCATION LAW, SECTION 7000, SUBSECTION
 2

Date
 2020.07.22

Drawing Title

SITE PLAN

Drawing No.

CVIII-200



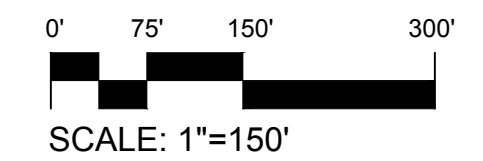
1 SITE PLAN
 CVIII-200 SCALE: 1"=150'



GROUND COVERAGE:
 SITE IS AN AGRICULTURAL ZONE. GROUND COVERAGE IS 9.21%.

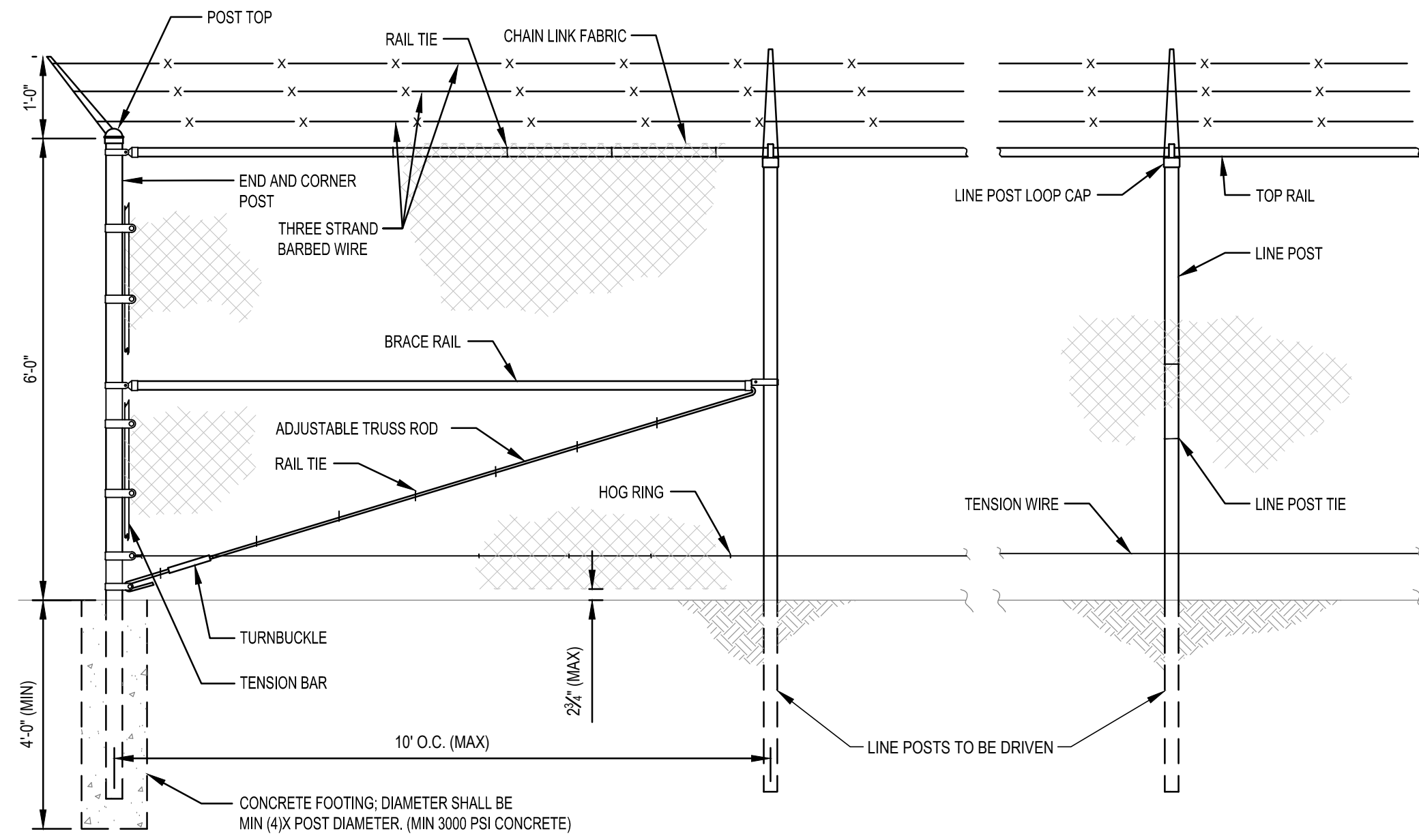
PARCEL ACREAGE: ±113.3 ACRES
 PROJECT ACREAGE: ±37.7 ACRES
 PROPOSED SOLAR: 18,937 PANELS

#	KEY NOTES
1	ADD NYSDOT #2 STONE AS REQUIRED TO STABILIZE EXISTING SITE ACCESS ROAD.
2	12' WIDE PERVIOUS ACCESS DRIVE. SEE DETAIL 3/CVII-301.
3	UTILITY POLE. (CUSTOMER LOAD BREAK DISCONNECT, CUSTOMER RECLOSER, POLE MOUNTED UTILITY METER AND CUSTOMER RISER POLE) FINAL LOCATION SUBJECT TO CHANGE.
4	OVERHEAD ELECTRIC LINE. (FINAL LOCATION SUBJECT TO CHANGE)
5	6' HEIGHT CHAIN LINK SECURITY FENCE WITH 12" OF 3-STRAND BARBED WIRE. SEE DETAIL 1/CVII-300.
6	DOUBLE SWING CHAIN LINK FENCE GATE. SEE DETAIL 2/CVII-300.
7	PHOTOVOLTAIC (PV) MODULE, TYP.
8	PV INVERTER, TRANSFORMER AND NEUTRAL GROUND REACTOR EQUIPMENT SET ON CONCRETE PAD OR DRIVEN PILE FOUNDATION. SEE DETAIL 4/CVII-300.
9	MAINTAIN A 25' SETBACK FROM WETLANDS.
10	MEDIUM VOLTAGE UNDERGROUND ELECTRIC LINE. (FINAL LOCATION SUBJECT TO CHANGE). SEE DETAIL 3/CVII-300.
11	MINOR COMMERCIAL DRIVEWAY. SEE DETAIL 4/CVII-301.
12	VIEW MITIGATION PLANTING. SEE DETAIL 6/CVII-301.



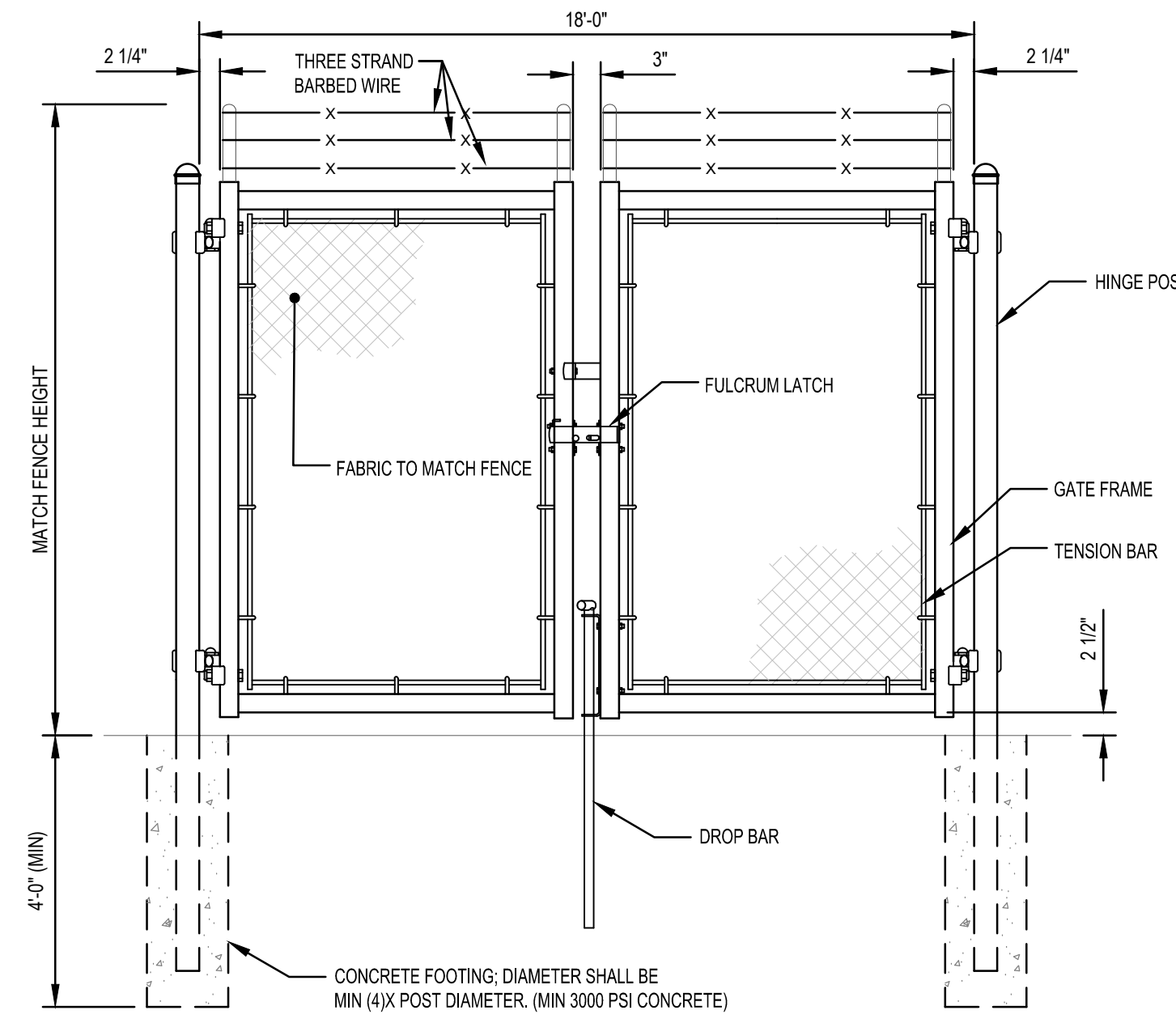
EXISTING CONDITIONS LEGEND:	
PROPERTY LINE	---
SETBACK LINE	---
EXISTING GROUND CONTOUR	---360---
WETLAND BOUNDARY	[Hatched pattern]
EXISTING OVERHEAD ELECTRIC LINE	—OH—OH—OH—
EXISTING PAVEMENT AREA	[Grey shaded area]

SITE PLAN LEGEND:	
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC LINE	—OH—
UNDERGROUND ELECTRIC LINE	—UIE—
SECURITY FENCE	—X—
25' VEGETATIVE BUFFER	---25---
PHOTOVOLTAIC (PV) MODULE	[Hatched pattern]
GRAVEL ACCESS ROAD	[Dotted pattern]
STABILIZED CONSTRUCTION ENTRANCE	[Cross-hatched pattern]



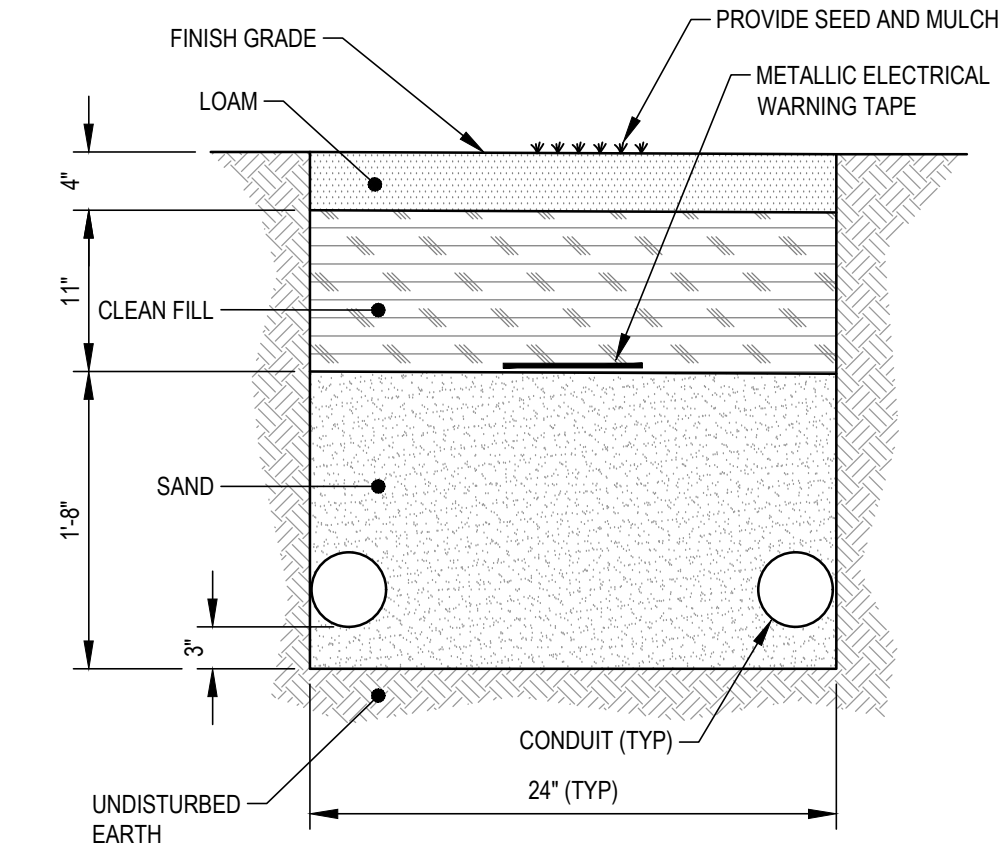
NOTE:
1. ONLY EXTERIOR CHAIN LINK FENCE LINES GET (3) THREE LINE BARBED WIRE.

1 CHAIN LINK FENCE DETAIL
CVIII-300 SCALE: NONE

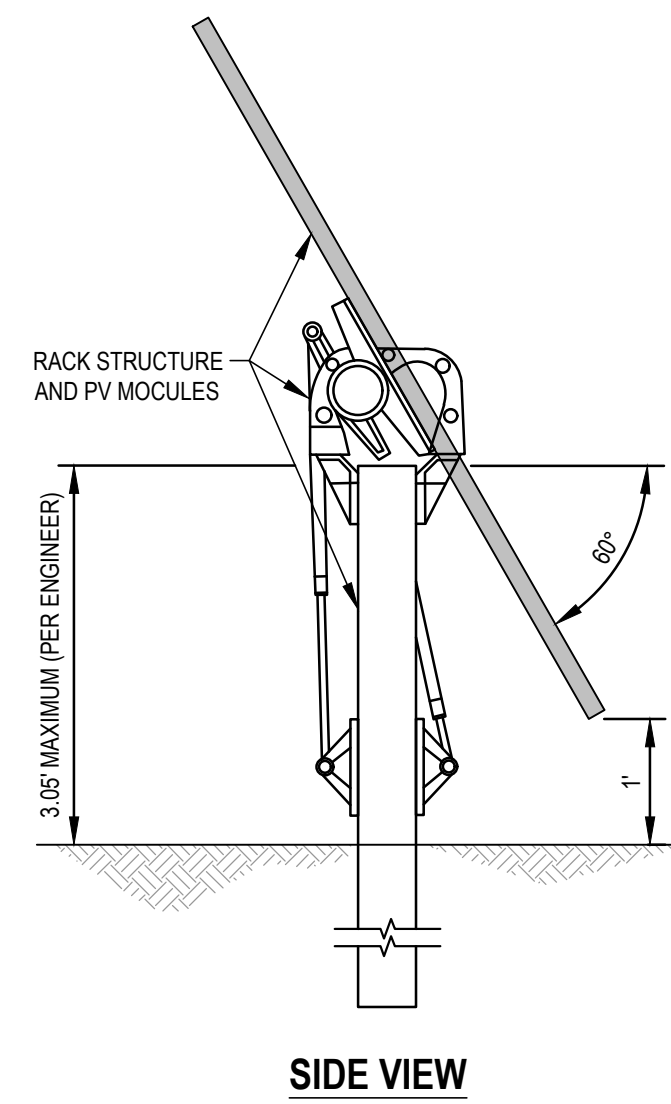


NOTE:
1. ONLY EXTERIOR CHAIN LINK FENCE GATES GET (3) THREE LINE BARBED WIRE.

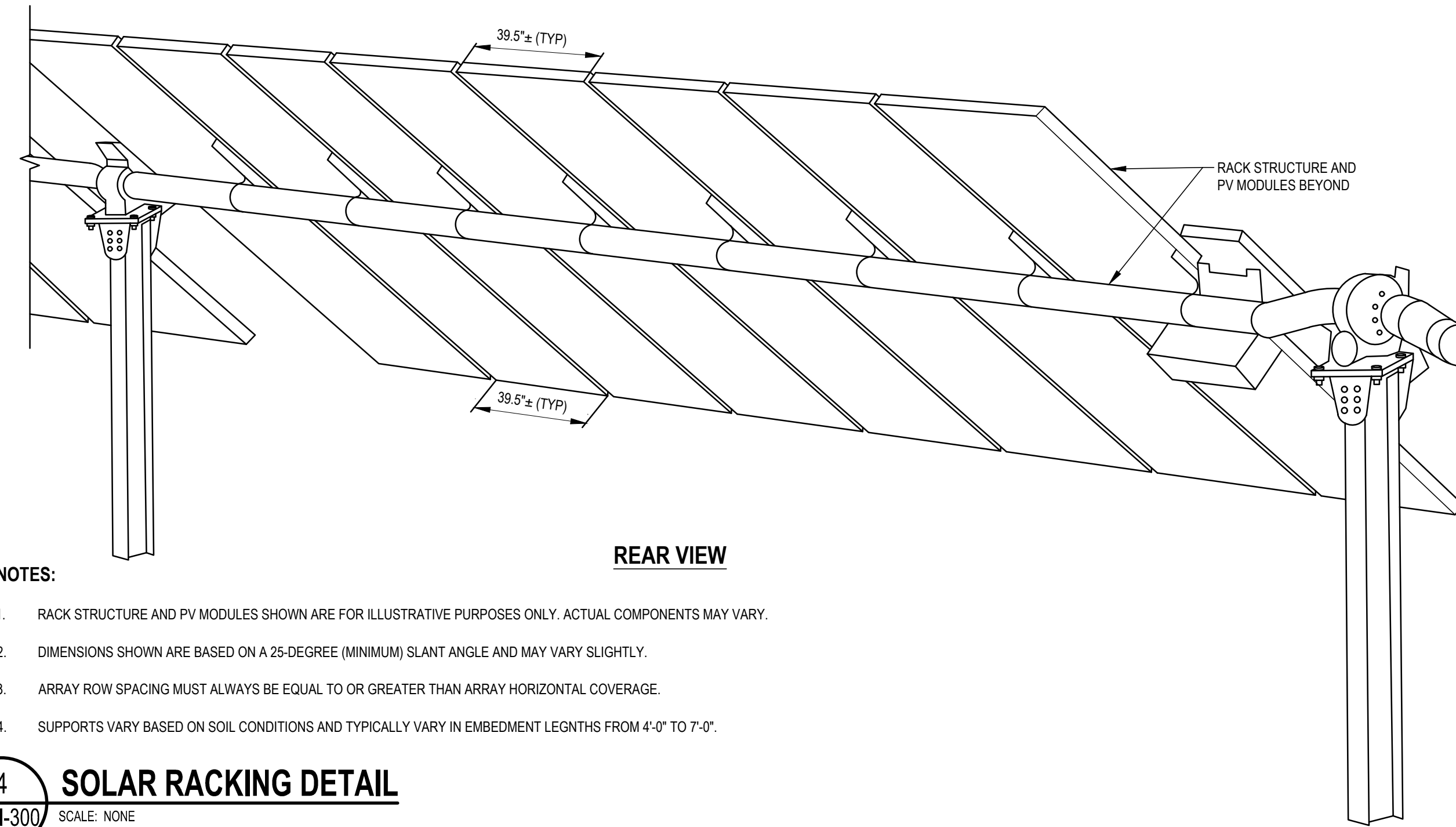
2 DOUBLE CHAIN LINK FENCE GATE DETAIL
CVIII-300 SCALE: NONE



MEDIUM VOLTAGE CABLE TRENCH DETAIL (MV)
CVIII-300 SCALE: NONE



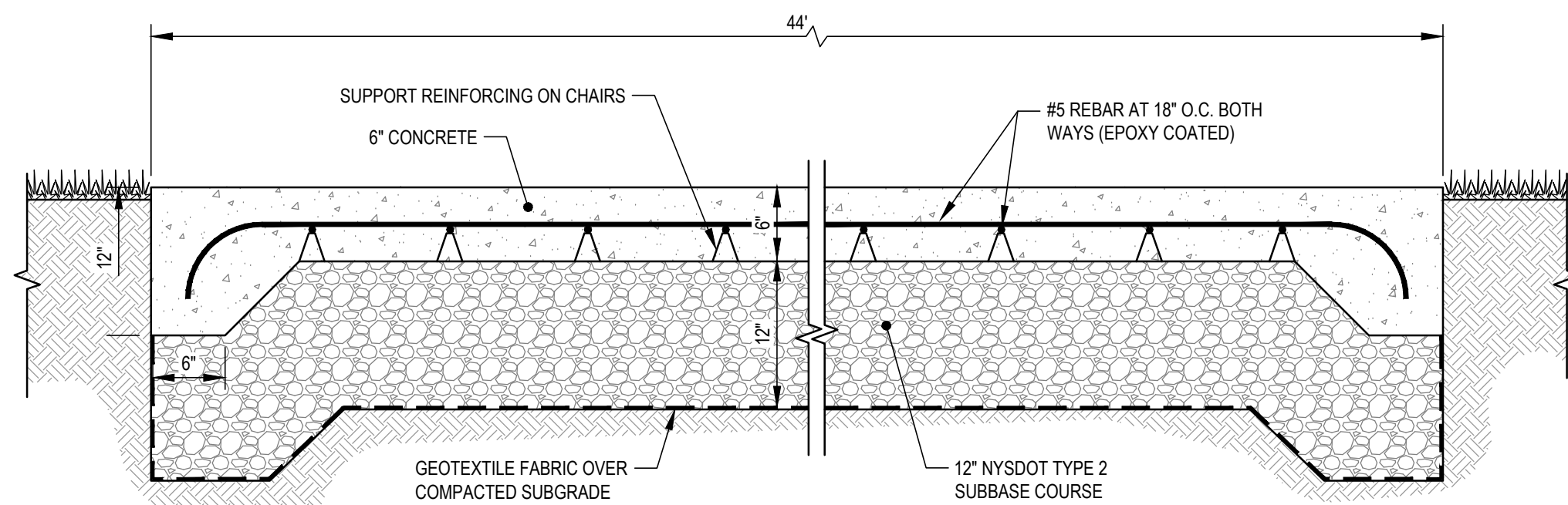
SIDE VIEW



REAR VIEW

NOTES:
1. RACK STRUCTURE AND PV MODULES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COMPONENTS MAY VARY.
2. DIMENSIONS SHOWN ARE BASED ON A 25-DEGREE (MINIMUM) SLANT ANGLE AND MAY VARY SLIGHTLY.
3. ARRAY ROW SPACING MUST ALWAYS BE EQUAL TO OR GREATER THAN ARRAY HORIZONTAL COVERAGE.
4. SUPPORTS VARY BASED ON SOIL CONDITIONS AND TYPICALLY VARY IN EMBEDMENT LENGTHS FROM 4'-0" TO 7'-0".

4 SOLAR RACKING DETAIL
CVIII-300 SCALE: NONE



NOTE:
1. DRIVEN PILE FOUNDATIONS MAY BE USED IN LIEU OF CONCRETE EQUIPMENT PADS AS SHOWN.

5 THICKENED EDGE 6" THICK CONCRETE PAD DETAIL
CVIII-300 SCALE: NONE

Key Plan

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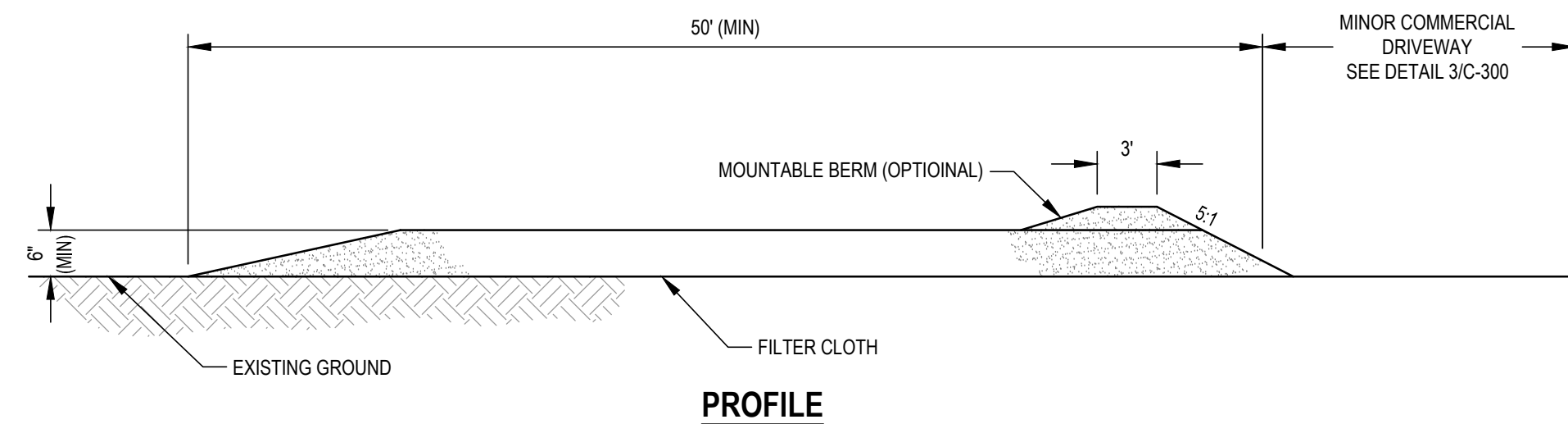
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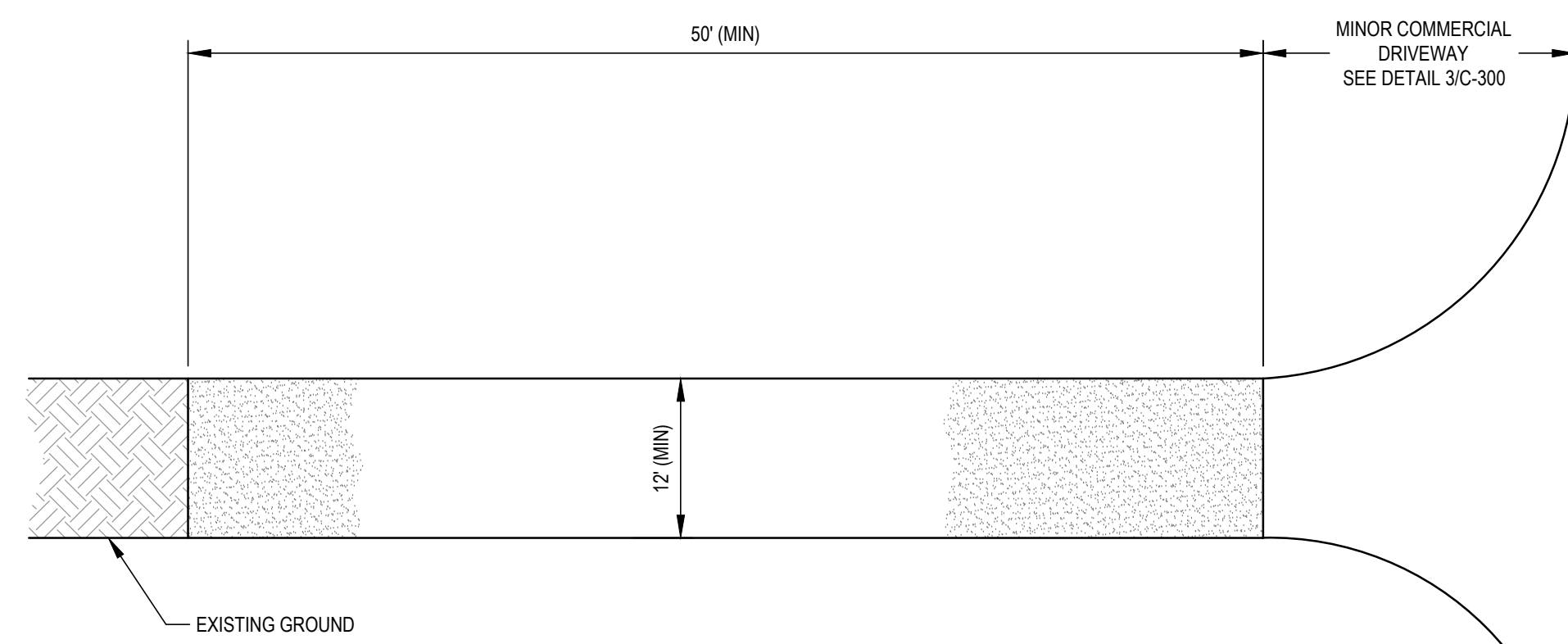
Drawing Title
DETAILS

Drawing No.
CVIII-300

NOT FOR CONSTRUCTION



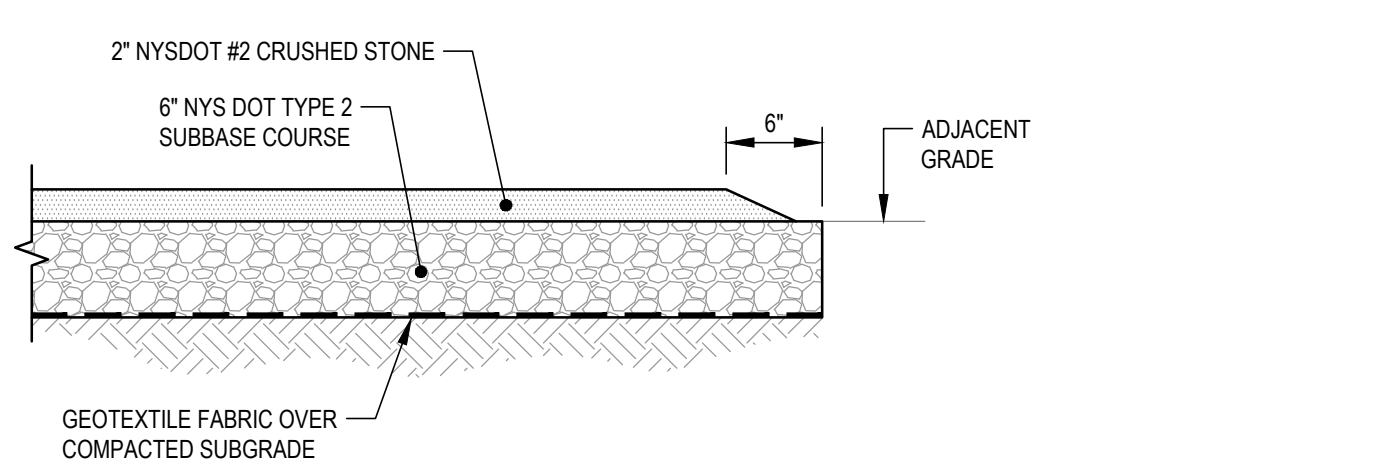
PROFILE



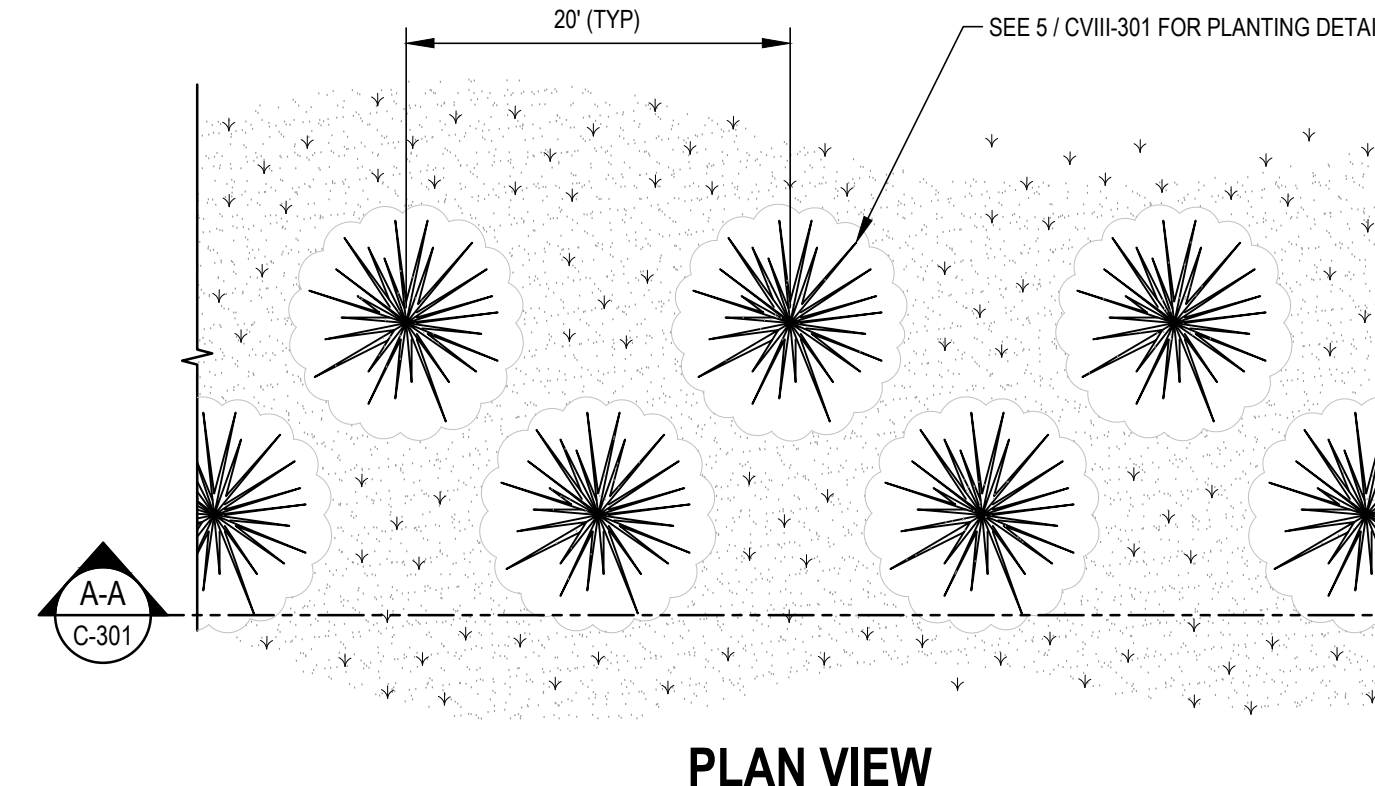
PLAN VIEW

- CONSTRUCTION SPECIFICATIONS:**
- STONE USE: USE NYS DOT # 2 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN DURING CONSTRUCTION.
 - CONSTRUCTION SPECIFICATIONS SUBJECT TO CHANGE PURSUANT TO NYS DOT REQUIREMENTS.

1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
CVIII-301 SCALE: NONE

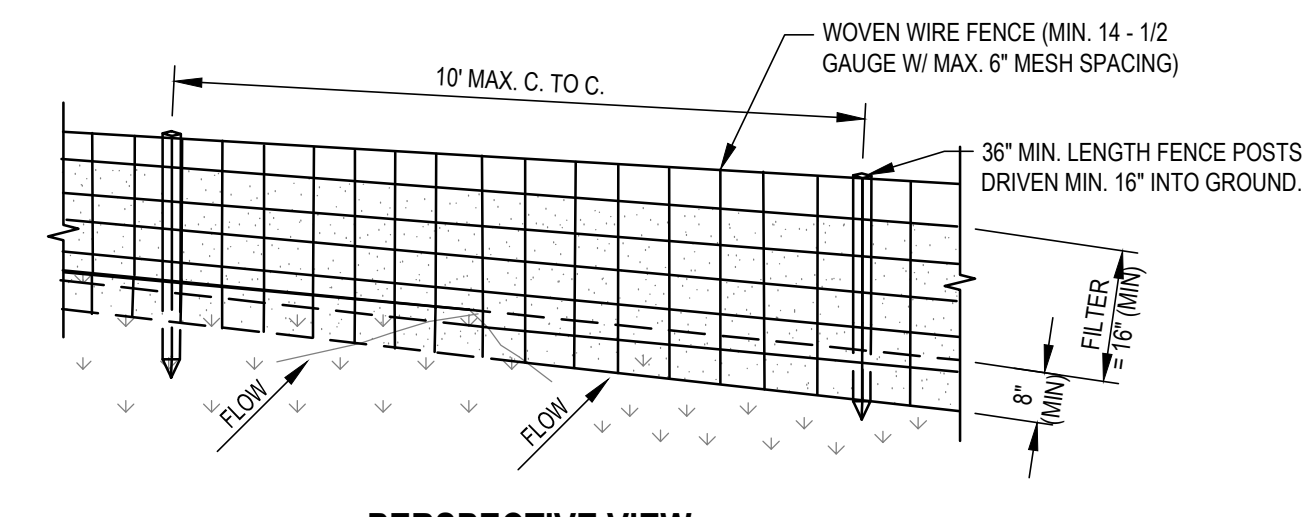


4 GRAVEL DRIVEWAY DETAIL
CVIII-301 SCALE: NONE

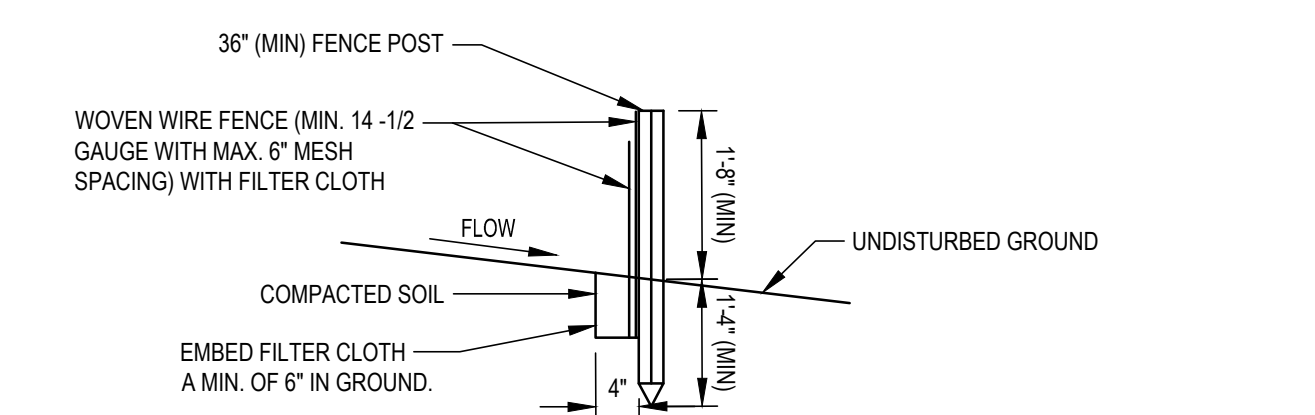


PLAN VIEW

6 VIEW MITIGATION PLANTING DETAIL
CVIII-301 SCALE: NONE



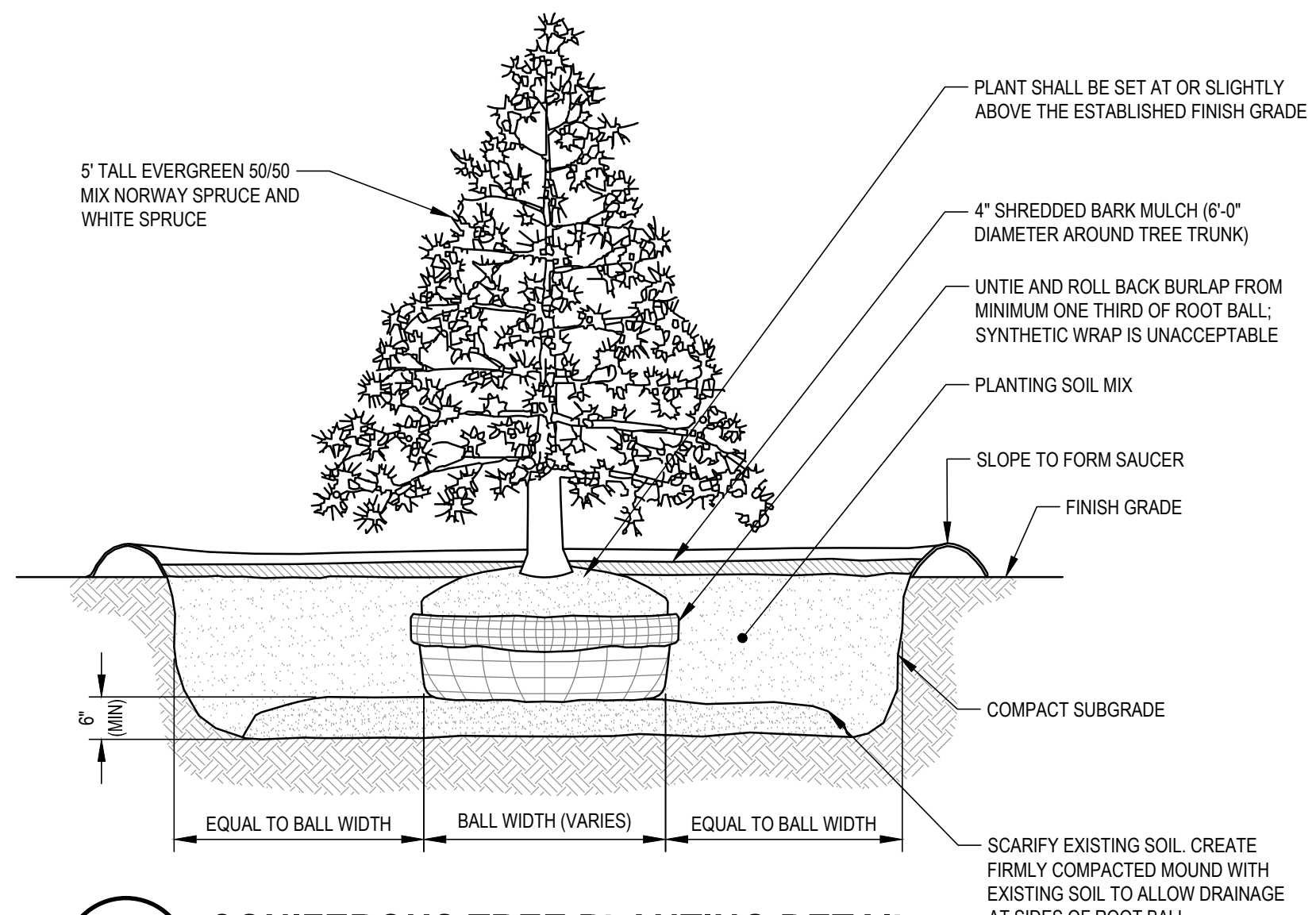
PERSPECTIVE VIEW



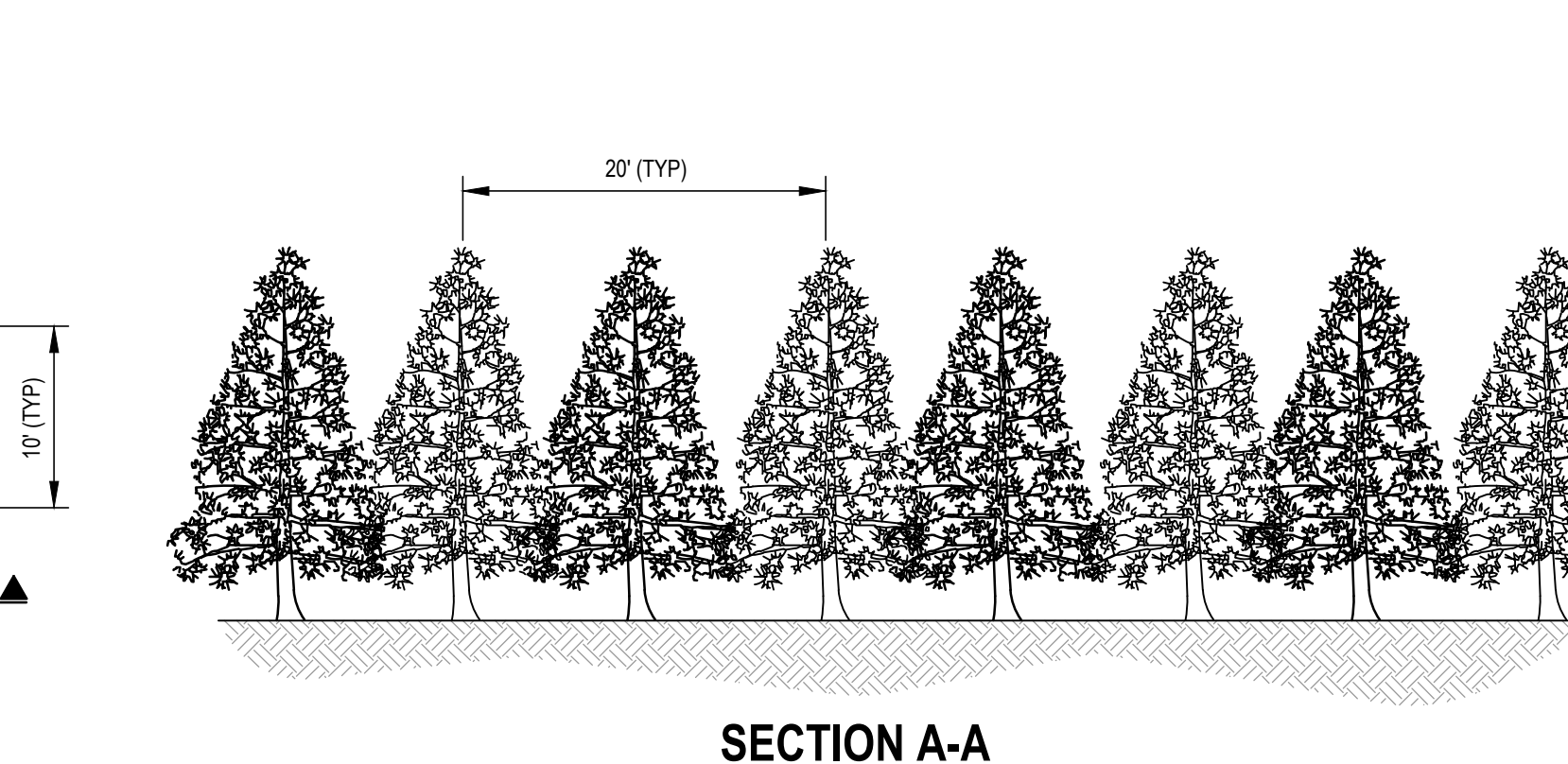
SECTION VIEW

- CONSTRUCTION SPECIFICATIONS:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 - 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

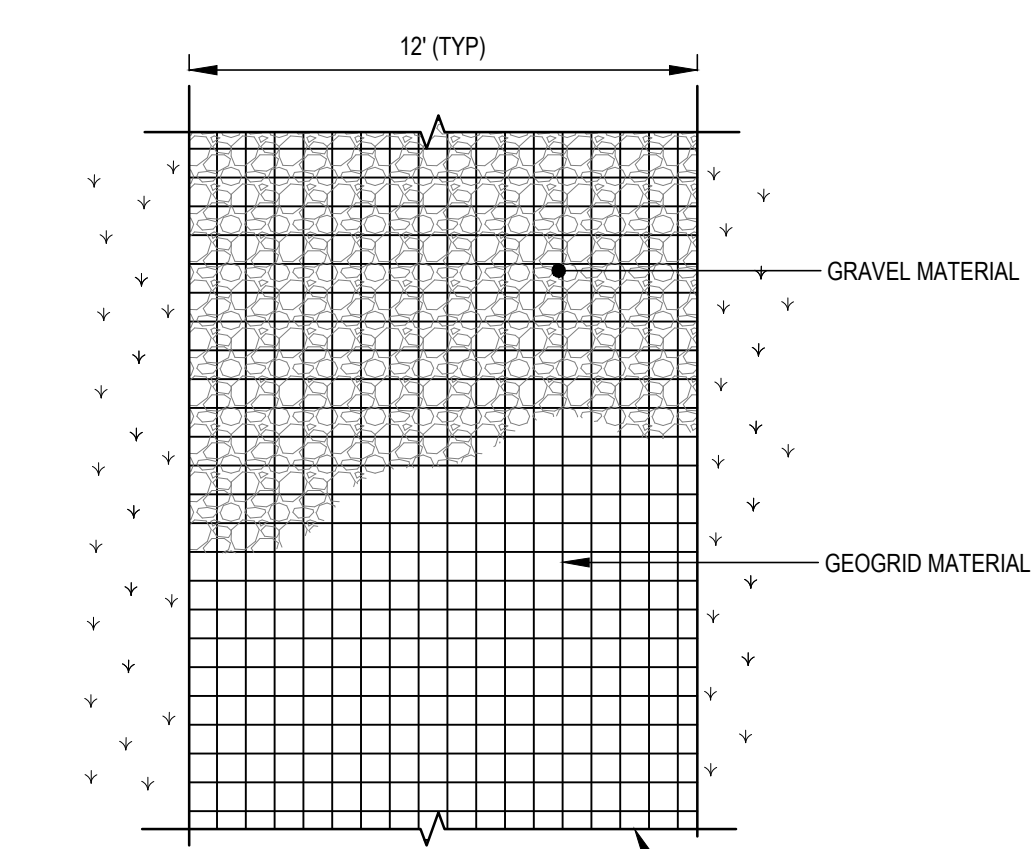
2 SILT FENCE DETAIL
CVIII-301 SCALE: NONE



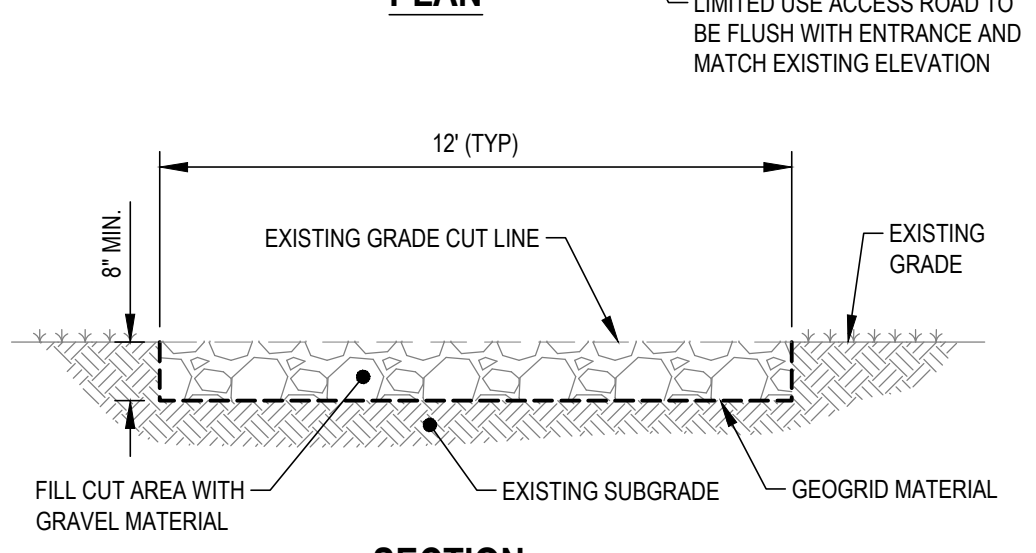
5 CONIFEROUS TREE PLANTING DETAIL
CVIII-301 SCALE: NONE



SECTION A-A



PLAN



SECTION

3 LIMITED USE PERVIOUS ROAD 0% TO 10% SLOPES DETAIL
CVIII-301 SCALE: NONE

- GENERAL NOTES:**
- LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
 - REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
 - REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE INSITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
 - GRADE ROADWAY WHERE NECESSARY TO NATIVE SOIL AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
 - REMOVE UNSUITABLE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
 - TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS ROAD IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION, A STANDARD NEW YORK STATE STABILIZED CONSTRUCTION ACCESS SHALL BE CONSTRUCTED AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON OR OFFSITE. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
 - THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS WHERE UPGRADIENT SOIL DISTURBANCES (E.G. CLEARING AND GRUBBING, GRADING, ETC) HAVE ACHIEVED FINAL STABILIZATION.
- GEOGRID MATERIAL NOTES (0-10% SLOPES):**
- GRAVEL FILL MATERIAL SHALL CONSIST OF 1-4" CLEAN, DURABLE SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYS DOT ITEM 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
 - GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL. GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
 - IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
 - REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
 - LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1-4" CRUSHED STONE MEETING NYS DOT ITEM 703-02 SPECIFICATIONS.
- BASES OF DESIGN:** TENCATE MIRAFI BXG110, GEOGRIDS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, CA (800) 685-9990, OR (706) 693-2226; WWW.MIRAFI.COM
- WOVEN GEOTEXTILE MATERIAL NOTES (POORLY DRAINED SOILS):**
- SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D OR AS SPECIFIED FROM AN ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST, OR GEOTECHNICAL DATA.
- BASES OF DESIGN:** TENCATE MIRAFI RSI-SERIES WOVEN GEOSYNTHETICS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA, (800) 685-9990 OR (706) 693-2226; WWW.MIRAFI.COM

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