



17 Computer Drive West  
Albany, NY 12205  
518.438.9900

70 Linden Oaks, Third Floor, Suite 15  
Rochester, NY 14625  
585.866.1000

August 17, 2020

*via overnight delivery*

Town of Cortlandville  
3577 Terrace Road  
Cortland, NY 13045

Attention: Bruce Weber

**Re: Proposed Jiffy Lube  
840 NYS Route 13**

Dear Mr. Weber:

On behalf of our client, Guggenheim Development Services, we are pleased to submit the following information to the Town of Cortlandville to continue review of the proposed 3,000+/- Jiffy Lube store located at 840 NYS Route 13 in the B-3 Zoning District.

Please find the following enclosed for your review and distribution:

- Ten (10) copies of the 178-45B(4) Criteria.
- Ten (10) copies of the Monument Sign cut-sheet, dated 10/7/19.
- Ten (10) copies of Architectural Plans including A-01.0 Foundation Plan, A-02.0 First Floor Plan, A-03.0 Roof Plan, A-04.0 Elevations, A-04.1 Elevations, A-04.2 Lighting Spec, A-04.2 Lighting Spec, A-13.0 Equipment Plan and Schedules, P-01.0 Plumbing Plan First Floor, and P-03.0 Plumbing Plan Lower Bay, prepared by ARK3CD, dated 8/10/2020.
- Ten (10) copies of the Landscape Plan, prepared by this office, last revised 08/14/2020.

**Review and Adherence to Town of Cortlandville, NY: Article XXIII – Design and Development Guidelines, in respect to design of proposed Jiffy Lube @ [840 NYS Route 13, Cortlandville, NY 13045](#)**

ARK3CD DESIGN GROUP has reviewed Article XXIII – Design and Development Guidelines, all references for architectural design, and has determined that the architectural elements as represented in the Jiffy Lube design meet or exceed the standards set forth therein. The orientation, color scheme, and entire design will be consistent/compatible in scale and character with the surrounding area and adjacent properties, as well as being dark sky compliant. Please see responses to the Design and Development Guidelines following each item referenced *in italics*.

**A3a:** The orientation of new buildings and their rooflines shall be compatible and consistent with existing and desirable patterns of residential, commercial and industrial development area. The height, scale and proportion of new buildings shall be consistent and/or compatible with surrounding buildings on adjacent properties.

*The design, proportion and scale are in keeping with the surrounding and adjacent commercial properties.*

**B1:** Nonresidential buildings. Large-scale, nonresidential development and redevelopment projects including professional office, commercial, light industrial and institutional uses must be compatible in scale and character with nearby developments, particularly residential uses.

*Building and its elements are in keeping with the surrounding and adjacent commercial properties.*

**B1a:** Traditional architectural styles are encouraged over highly ornate and/or ultra-modern styles.

*Building and its elements are in keeping with the surrounding and adjacent commercial properties.*

**B1b:** Corporate franchise-style and cookie cutter architecture shall be discouraged in favor of building styles that complement neighborhood character and design objectives particularly where residential uses are nearby.

*Building design includes stucco finish and ledgestone wainscot elements to avoid typical cookie-cutter appearance.*

**B1c:** Peaked roofs and varied rooflines may be more appropriate for some nonresidential buildings to mimic nearby residential characteristics, particularly near established and possible future residential areas at both the northern and southern ends (gateway areas) of Cortlandville.

*The proposed structure has a rooftop design and elements with keeping with the other adjacent industrial shopping facilities, and specifically has a varied roofline.*

**B1d:** All building facades visible from public streets, public areas and residential neighborhoods shall have features of suitable scale and utilize construction materials that integrate consistently and compatibly with the visual characteristics of surrounding areas.

*Building and its elements are in keeping with the surrounding and adjacent commercial properties.*

**B1e:** The rear facades of buildings that are visible from public streets and viewpoints shall have a finished quality utilizing materials and colors that are consistent with the remainder of the building.

*All four sides of the building maintain finish quality materials and are consistent with one another.*

**B3a:** Materials shall have desirable architectural character and quality. Materials shall be selected for harmony in color and texture with adjoining buildings. Brick, native stone and high quality wood treatments are encouraged over the use of metal materials as the principal nonresidential building material.

*The proposed design consists of a main field of white EIFS, with a wainscot ledgestone veneer rising from ground level to four feet consisting of Yukon Ledgestone design, which reflects the color and texture of indigenous stone.*

**B3b:** Buildings shall make use of the same materials, or those that are architecturally harmonious and visually compatible, for all building walls and exterior building components that are either wholly or partly visible.

*All four exterior elevations will be consistent with keeping with a wainscot ledgestone veneer rising from ground level to four feet consisting of Yukon Ledgestone design, which reflects the color and texture of indigenous stone.*

**B3c:** Materials shall be considered for their durable quality, longevity and ease of maintenance. Inappropriate use of materials, for which they are not intended, and questionable construction practices in their installation shall be avoided.

*All materials are of high quality, and were chosen for longevity and ease of maintenance.*

**B3d:** Front and side building facade materials shall be of subtle colors and low reflectance to prevent glare. Colors that are classic in appearance, neutral, timeless, and of an earthen tone shall be encouraged over nontraditional, bright or neon colors.

*The main surface is white stucco with wainscot ledgerstone veneer and medium bronze anodized aluminum storefront.*

**B4a:** Building components, such as windows and doors, shall be compatible in scale and proportion to one another and to desirable patterns established.

*Glazing and doors are within scale and proportion to one another on building. All windows and doors will be medium bronze anodized aluminum storefront with one inch insulated clear safety glass.*

**B4b:** A well-designed building entrance shall be visible from the street and provide the focal point of the building's front facade. Recessed entrances are encouraged particularly when such entrances add to the overall appearance of the facade.

*The entrances are clearly visible and marked, have a canopy, and are consistent with the building design.*

**B4c:** Colors for framing shall be harmonious with other building elements and the use of compatible accent colors is encouraged.

*Main field EIFS is pure white with Yukon blend ledge stone thin veneer Bronze anodized with similar color which runs through the ledgerstone*

**B4d:** There shall be no long, blank, featureless building facades. Building wall appearance can be enhanced with windows or other architectural design and/or landscape features such as recessed areas and projections, or well landscaped with trees and shrubs in order to avoid monotony in design and appearance.

*Large fields are broken up with both the bronze frames and EIFS V-grooved control joints on both overhead doors.*

**B5b:** Mechanical equipment or other utility hardware on the roof, ground level, or buildings themselves shall be screened from public view with materials that are harmonious with the building, or located in such a manner as not to be visible from residential uses, public areas, walkways and streets. Landscaping of potentially visible utility boxes shall be screened to the greatest extent possible using plant materials and landscaping while still allowing for access and maintenance.

*The proposed parapet walls are tall enough so that the proposed RTU is not visible from the street.*

**E4a:** Buffers and screens. Physical buffers and visual screens between different, adjoining land uses are critical design elements that shall be utilized to reduce undesirable visual impacts. In developed areas, visual screens may be a combination of structural elements (walls) and nonstructural natural elements (earthen beams and plant materials). The use of some types of wooden fencing (for example, stockade)

Town of Cortlandville Planning Board  
3577 Terrace Road  
Cortland, NY 13045

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and particularly those requiring regular maintenance, and chain link fencing along or in the immediate view of the public right-of-way is discouraged.

*Landscaping and street trees are proposed along the site frontage.*

**E4d:** Rooftop utilities shall be effectively hidden from the view of motorists, residents and pedestrians at street level. Rooftop screens shall be constructed from materials that are consistent in color and texture *with the building's exterior design materials.*

*The proposed parapet walls are tall enough so that the proposed RTU is not visible from the street.*

We look forward to meeting with the Town at the next August Planning Board meeting. Should you have any questions or require any additional information, please do not hesitate to contact our office at (518) 438-9900.

Sincerely,

**BOHLER ENGINEERING MA, LLC**



Caryn Mlodzianowski

cc: **Guggenheim Development Services, LLC (via electronic-mail)**  
**ARK3CD Design Group (via electronic-mail)**

Proposed Jiffy Lube  
840 NYS Route 13  
178-45B(4) Criteria  
August 17, 2020

Vehicular servicing, including but not limited to automotive repair stations, body shops and rustproofing operations, is allowed within the Aquifer Protection District, provided that the following requirements are met:

**(a)**

Floor drains must be connected to a holding tank or sanitary sewer equipped with an oil and grit separating tank.

Comment: *An oil/grit/water separator is proposed; however, floor drains are not proposed.*

**(b)**

Wastes collected in a holding tank must be disposed of through a licensed waste hauler.

Comment: *Tenant is contracted with Safety-Kleen.*

**(c)**

Waste degreasing solvents must be stored in drums or a holding tank and disposed of through a licensed waste hauler.

Comment: *Waste degreasing solvents are not used.*

**(d)**

Waste oil must be stored in tanks or drums for disposal by a licensed waste hauler.

Comment: *Used oil is stored in the same type of tanks as fresh oil and contracted for removal by a licensed waste hauler.*

**(e)**

Storage facilities for tanks and/or drums require coated concrete floors and dikes to retain accidental spills or leaks; a permanent roof to protect tanks or drums and to prevent precipitation from entering dikes. Drums should be sealed, and tanks and drums must be located away from floor drains.

Comment: *All oil tanks are stored in the basement and dikes are proposed to retain accidental spills.*

**(f)**

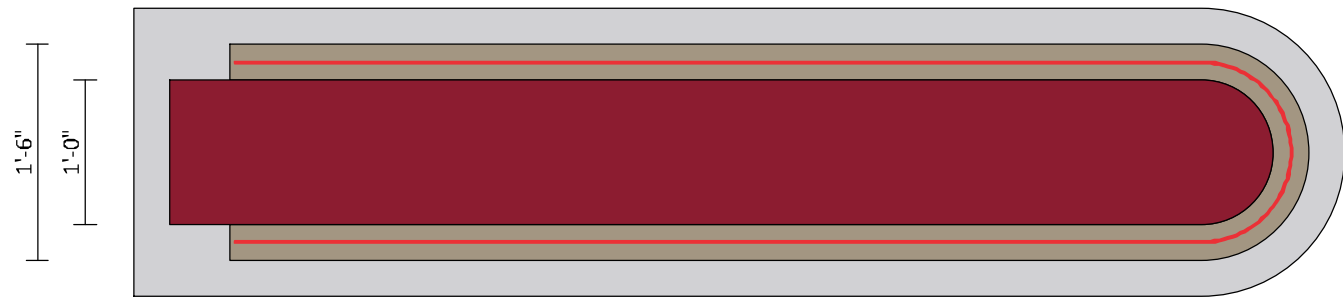
Large drip pans should be kept beneath drums which have spigots and are stored in horizontal position on racks.

Comment: *The tenant has no oil drums.*

**(g)**

Potentially contaminated scrap, including but not limited to scrap parts, batteries and used filters shall be stored in proper containers to prevent environmental release of contaminants.

Comment: *Stored in a special container in trash enclosure that is picked up by Safety-Kleen.*



STREET SIDE

**PLAN VIEW**

SCALE: 3/4" = 1'-0"

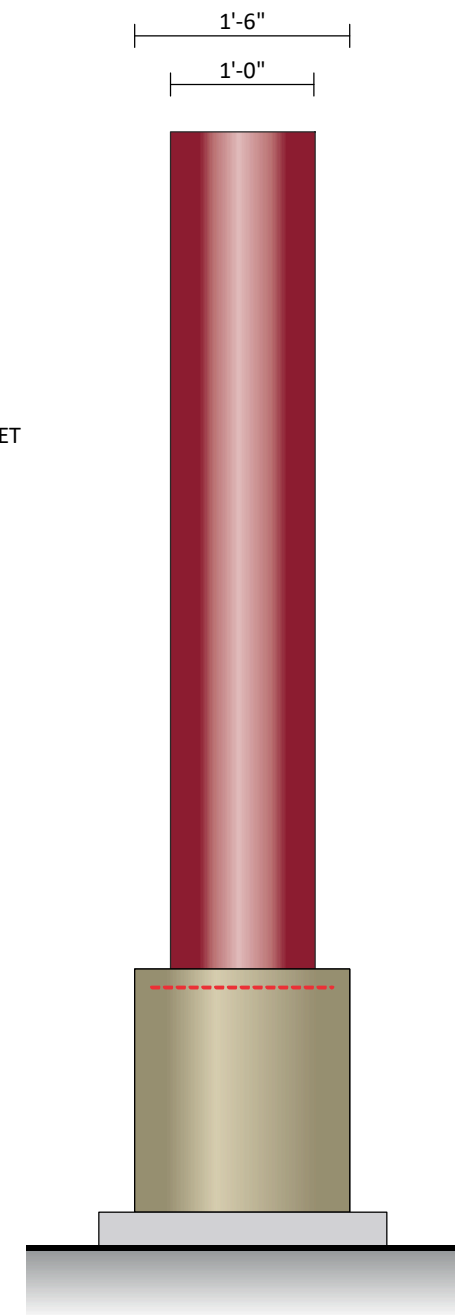


FABRICATED UPPER CABINET: (2) SHEETS 4mm APOLIC (ACM) w/ A JIFFY LUBE DARK RED FINISH - FORMED & ROUTED - CABINET TOP TO BE .090" ALUMINUM PAINTED MATTHEWS PAINT POLYURETHANE ENAMEL MAP #MP55143 "DARK RED" - ALUMINUM & STEEL FRAMING - STAINLESS STEEL SCREWS - CONTINUOUS & CONSISTENT WELDS - INSIDE PAINTED LIGHT-ENHANCING WHITE - FACES BACKED w/ .125" #7328 WHITE MODIFIED ACRYLIC SHOWING THRU - R-O/S-T COPY BACKED w/ .125" THICK #7328 WHITE ACRYLIC / IGE TETRAMAX WHITE (7100k) LED's POWER SUPPLIES LOCATED INSIDE CABINET

CURVE ACCENT: (2) SHEETS 4mm ALPOLIC (ACM) w/ A JIFFY LUBE MEDIUM BRONZE METALLIC FINISH - FORMED TO FIT AROUND CABINET & w/ LIGHTING COVE - CABINET BOTTOM TO BE .090" ALUMINUM PAINTED MATTHEWS PAINT POLYURETHANE ENAMEL MAP #MP11663 MT. SINAI BRONZE (METALLIC FINISH) - ALUMINUM & STEEL FRAMING - STAINLESS STEEL SCREWS - CONTINUOUS & CONSISTENT WELDS - COVE ILLUMINATED w/ RED SLOAN FLEXIBRITE LED TUBING

CONCRETE PAD PAINTED COLOR T.B.D.

STEEL SUPPORT(S) SET INTO CONCRETE PIER TYPE FOUNDATION(S) - ENGINEERING TO DETERMINE SIZE & DEPTH COMPLIANT w/ LOCAL CODES & CONDITIONS



**END VIEW**

**S JLM-M60 D/F MONUMENT ELEVATION**  
(1) REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/4" = 1'-0"

60 Sq.Ft.

CUSTOMER TO PROVIDE FOUNDATION, PAD, MASONRY IF REQUIRED, CHANDLER TO INSTALL REQUIRED SIGNAGE FOR EACH STRUCTURE.

<b>Design #</b>	
STANDARDS 2019	
<b>Sheet</b>	13 of 28
<b>Client</b>	
JIFFY LUBE MULTICARE	
<b>Address</b>	
various	
<b>Account Rep.</b>	Ron Charlton
<b>Designer</b>	KMc
<b>Date</b>	10/7/19
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	

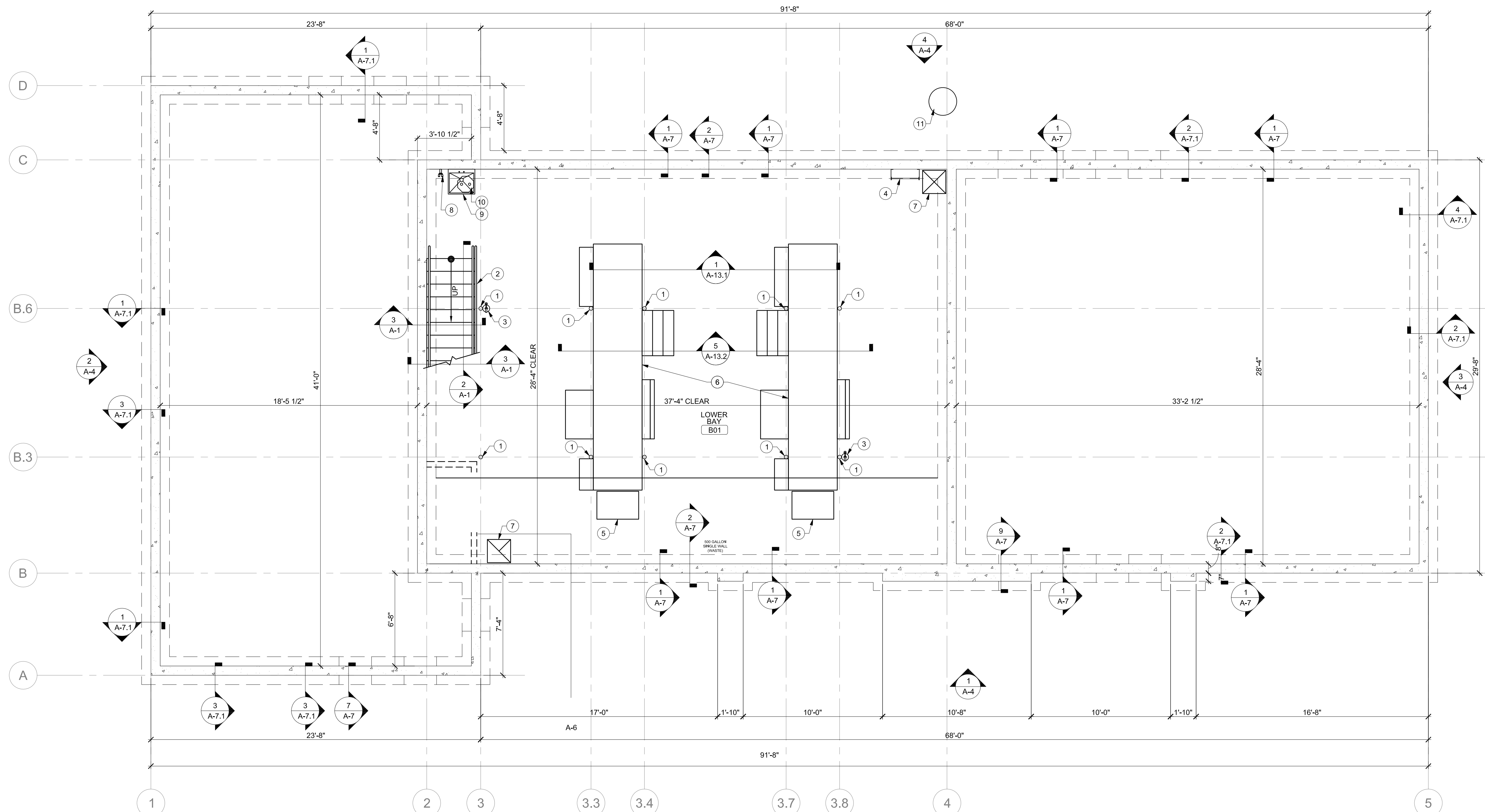


<b>National Headquarters</b>	14201 Sovereign Road Fort Worth, TX 76155 (214) 952-2999 Fax (214) 952-2924
<b>San Antonio</b>	17319 San Pedro Avenue Suite 200 San Antonio, TX 78232 (214) 349-3884 Fax (214) 349-8724
<b>West Coast</b>	3220 Executive Ridge Drive Suite 250 Visalia, CA 97088 (760) 734-1708 Fax (760) 734-3752
<b>Northeast US</b>	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-2575
<b>Georgia</b>	111 Woodstone Pk Dawsonville, GA 30534 (678) 725-8852 Fax (214) 349-8724
<b>South Texas</b>	PO Box 125 306 Dorral Drive Portland, TX 78374 (361) 563-5999 Fax (361) 649-6433

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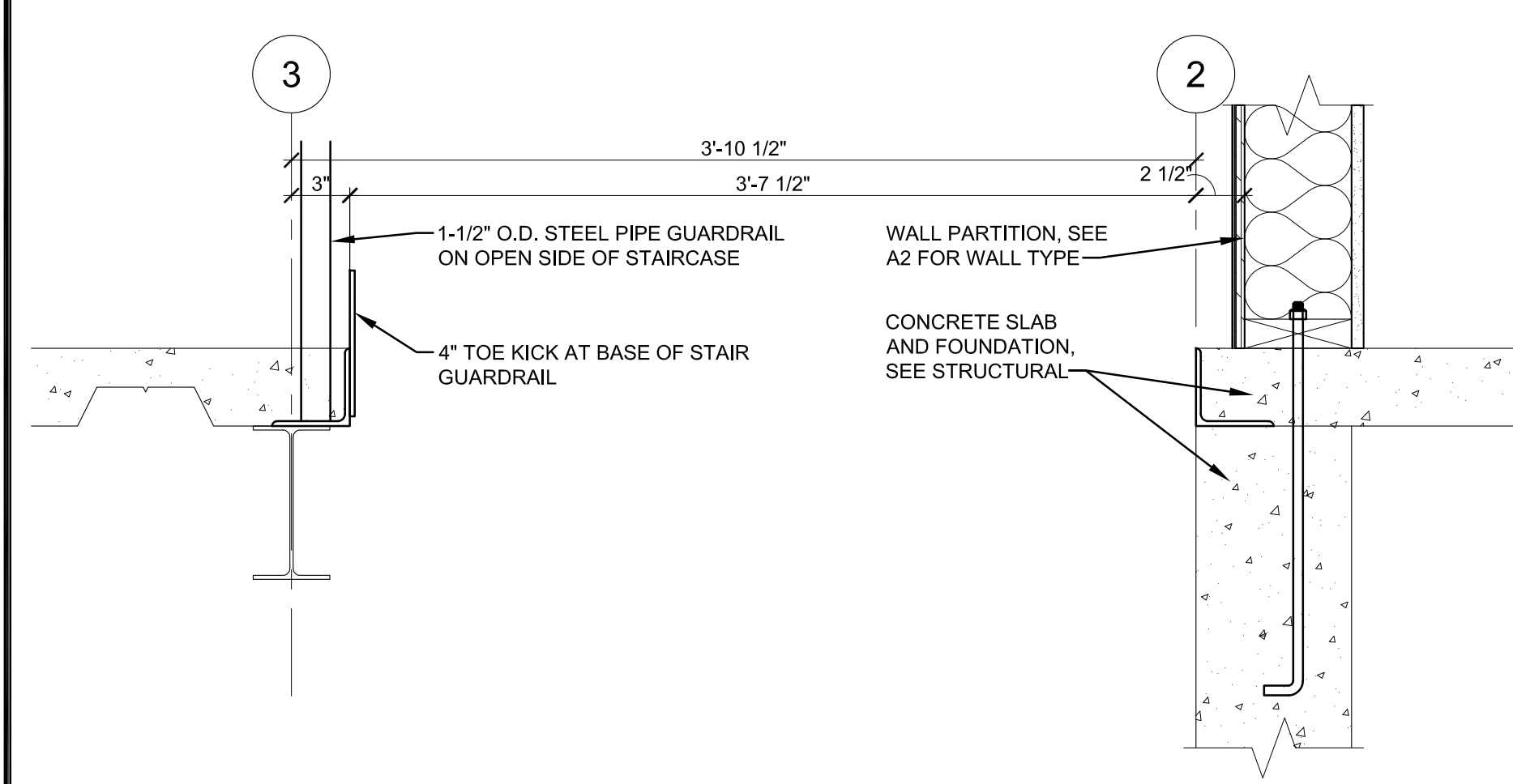
**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



**1 FOUNDATION PLAN**  
A-01 SCALE: 1/4"=1'-0"

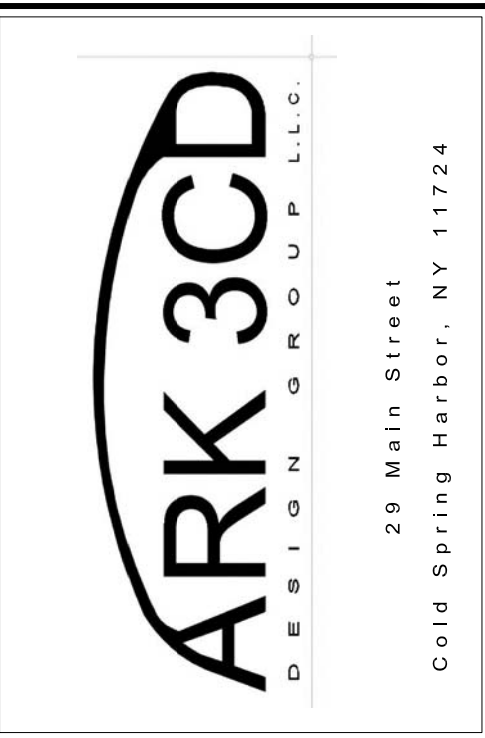
#	SYMBOL	BASEMENT KEY NOTES	
1.	COLUMN, REFER TO STRUCTURAL FOR LOCATION.	7.	DUCT THROUGH FLOOR ABOVE, COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS.
2.	STAIR, SEE 2/A-1 FOR DETAILS.	8.	EYE WASH STATION, SEE PLUMBING SCHEDULE FOR SPECS.
3.	FIRE EXTINGUISHER (BY G.C.) VERIFY LOCATION W/ FIRE MARSHAL.	9.	SERVICE SINK - REFER PLUMBING DRAWINGS.
4.	LADDER W/ FLOOR HATCH ABOVE, SEE DETAIL 6/A-7.1.	10.	LIFT STATION - REFER TO PLUMBING DRAWINGS.
5.	OIL DRAIN PAN (LOCATED ABOVE), THIS AREA TO REMAIN CLEAR OF PIPING TO ALLOW FOR MOVEMENT OF PAN. SEE DETAIL 4/A-13.2.	11.	APPROXIMATE SUMP PUMP LOCATION - SEE PLUMBING FOR MORE INFORMATION
6.	SERVICE PLATFORM, (SUPPLIED BY DEVON OR EQUAL) SEE 2/A-13.1.		



**3 SECTION AT STAIR OPENING**  
A-01 SCALE: 1-1/2"=1'-0"

ISSUED FOR:	
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS		
NO.	DATE	DESCRIPTION



THIS CERTIFIES THAT THESE PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT COMPLY WITH THE LATEST PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

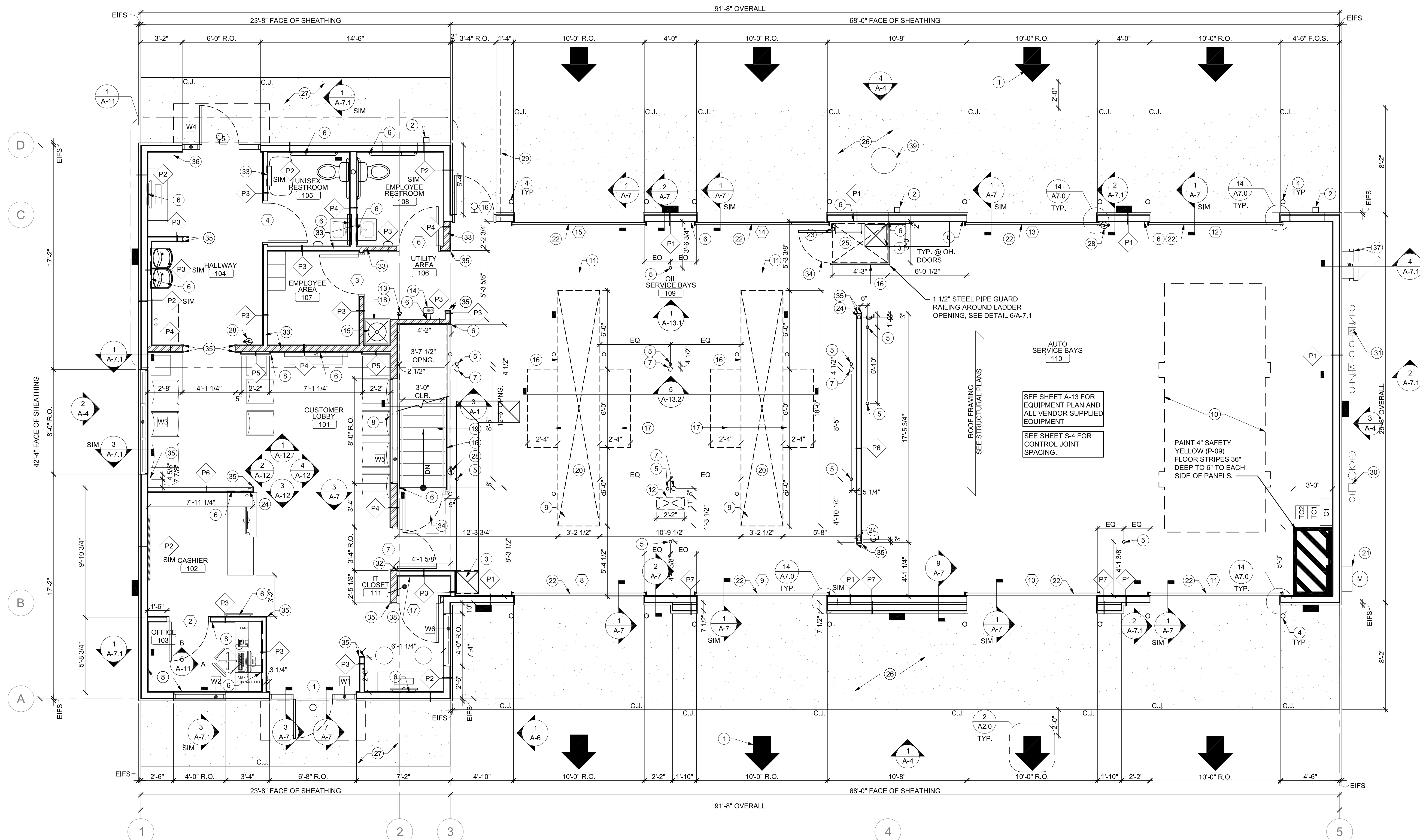
DRAWING  
**FOUNDATION PLAN**

PROJECT:  
**GUGGENHEIM**  
  
PROPOSED DEVELOPMENT  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE: 08/10/20  
PROJECT NO.: 200099  
DRAWN BY: SBA  
CHECK BY: CP

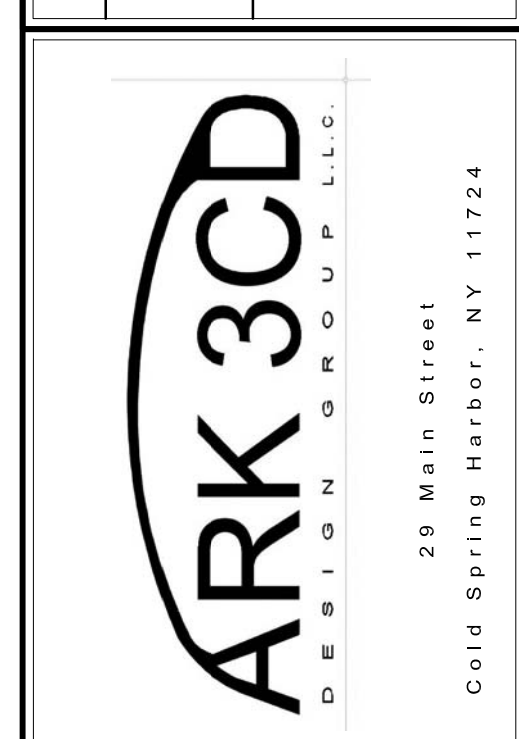
DWG NO.: **A-01.0**

SCALE: AS NOTED      SHEET NO.: 1 OF 11



ISSUED FOR:	
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS		
NO.	DATE	DESCRIPTION



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**1 FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**DRAWING**  
FIRST FLOOR PLAN

- GENERAL NOTES**
- ALL INTERIOR DIMENSIONS ARE TO FACE STUD, UNLESS NOTED OTHERWISE.
  - COORDINATE CONCRETE WALKS AND STOOPS WITH CIVIL PLANS.
  - PROVIDE BLOCKING AND JUNCTION BOX WITH ACCESS FOR SIGN INSTALLATION AT EACH LOCATION. COORDINATE WITH NATIONAL SIGN VENDORS (AGI - JODY MUNSEY, PHONE: 865-692-1242 OR ICON - JON LUCAS, PHONE: 281-693-7646) FOR SIGN SPECIFICATIONS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
  - ALL HATCHED INTERIOR PARTITIONS BETWEEN GRID LINES 1" AND 3" SHOULD EXTEND FULL HEIGHT TO UNDERSIDE OF DECK. ALL NON-HATCHED PARTITIONS SHOULD STOP 6" ABOVE CEILING.**

- PLAN KEY NOTES**
- PAINTED ARROW BOTH SIDES (PAINT P-09)
  - DOWNSPOUT - SEE SHEET A-3 FOR MORE INFORMATION
  - SLAB OPENINGS FOR DUCT, COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS
  - PIPE BOLLARD - SEE DETAIL 6/A-13.2 FOR MORE INFORMATION
  - 2-1/2" SLEEVE OPENING FOR AIR BELOW
  - GC TO PROVIDE BLOCKING IN WALL FOR MOUNTING OF EQUIPMENT AND FIXTURES
  - 4" DIA. PVC SLEEVE OPENING FOR VACUUM
  - CHAIR RAIL - INPRO 2500 CHAIR RAIL (TAUPE 0113) - GC TO CONFIRM MOUNTING HEIGHT IS ADJUSTED TO PREVENT BACK OF CHAIR FROM HITTING WALL
  - DIAMOND PLATE, TYP OF (2), SEE DETAIL 1/A-13.2
  - RECESSED SLAB FOR ALIGNMENT LIFT, SEE STRUCT. AND DETAIL 3/A-13.2
  - WHEEL GUARD, TYP OF (2), SEE DETAIL 1/A-13.2
  - BLOCKOUT FOR PRODUCT DISPENSE CONSOLE, VERIFY WITH OWNER'S REP
  - EYEWASH STATION - SEE PLUMBING DRAWINGS
  - WATER BUBBLER - SEE PLUMBING DRAWINGS
  - WATER HEATER LOCATED ABOVE, - SEE PLUMBING DRAWINGS
  - EXPOSED STEEL PLATE TOE KICK ALONG BASE OF GUARDRAIL (4") AND PIT OPENING (2"), SEE STRUCTURAL DRAWINGS
  - RECESSED VEHICLE LIFT - PROVIDE BLOCKOUT FOR LIFT. SEE DETAIL 5/A-13.2
  - MOP SINK - SEAL PERIMETER OF MOP SINK TO WALL ON THREE WALLED SIDES, SEE PLUMBING DRAWINGS.
  - STAIR - SEE 2/A-1 FOR DETAILS
  - SLAB OPENING FOR SERVICE
  - DISCONNECT AND METER SYSTEM, SEE ELECTRICAL
  - REFER TO STRUCTURAL FOR DOOR RECESS AT ALL OVERHEAD DOOR LOCATIONS.
  - 2 1/2" STEEL POST WELD TO BOTTOM OF FLOOR BEAM AND PERIMETER ANGLE, PROVIDE ANGLE BRACKET BACK TO WALL AT TOP, TO SUPPORT SAFETY GATE.
  - STEEL POST SUPPORTS IN LOW WALL, TYP., SEE DETAIL 9/A-7.1
  - FLOOR ACCESS LADDER FROM LOWER BAY AREA, SEE DETAIL 6/A-7.1
  - CONCRETE APRON, FINISH TO BE F04. SEE STRUCTURAL FOR REINFORCEMENT
  - SIDEWALK - SEE CIVIL-VERIFY 2% ADA SLOPE.
  - FIRE EXTINGUISHER (BY GC), VERIFY EXACT LOCATION WITH FIRE MARSHAL
  - CONDUIT UNDER SLAB ALONG CURB. DAYLIGHT THROUGH CURB AT DIRECTION OF JLI REP.
  - GAS METER - SEE PLUMBING DRAWINGS
  - DOMESTIC WATER SERVICE - SEE PLUMBING DRAWINGS
  - SET CLOSET WALL TO ALLOW GYP. BD. BEHIND DOOR JAMB.
  - PROVIDE SOUND BATTS IN THIS WALL
  - PROVIDE YELLOW SAFETY GATE SKU #WB708372 GLOBAL INDUSTRIAL SAFETY GATE (888) 978-7759. POST AVAILABLE. INFILL OPEN AREA WITH MESH
  - PROVIDE 1 1/2" X 60" TALL (48" IN LOBBY) STAINLESS STEEL CORNER GUARDS AT LOCATIONS NOTED. SECURE WITH 3 M HEAVY DUTY DOUBLE STICK CARPET TAPE, MODIFY AT SHORT WALL.
  - KEY DROP BOX WDC-160 PROTEx WALL DROP BOX WITH ADJUSTABLE CHUTE, SEE EXTERIOR ELEVATIONS A-4
  - ROOF ACCESS LADDER - SEE 4/A-7.1
  - 3/4" x 4'-0" x 8'-0" FRG. PLYWOOD AT REAR OF CLOSET, SEE ELECTRICAL FOR MORE INFORMATION.
  - APPROXIMATE SUMP PUMP LOCATION - SEE PLUMBING FOR MORE INFORMATION.

**PARTITION LEGEND**

P1	2 X 6 WOOD STUDS WITH R21 BATT INSULATION IN CAVITIES, WITH 1/2" PLYWOOD & 2" EIFS ON EXTERIOR SIDE, 1/2" PLYWOOD W/ FRP TO 96" A.F.F. & GYP ABOVE INSIDE. (SEE STRUCT. FOR STUD SPACING)	P5	1 1/2" WALL FURRING STRIPS @ 24" O.C. FLAT FRAMED WITH 5/8" GYP BD. EA. SIDE.
P2	2 X 6 WOOD STUDS WITH R21 BATT INSULATION IN CAVITIES, WITH 1/2" PLYWOOD & 2" EIFS ON EXTERIOR SIDE, 5/8" GYP BD. ON INTERIOR SIDE. (SEE STRUCT. FOR STUD SPACING)	P6	LOW WALL 42" HIGH, 2 X 4 WOOD STUDS @ 16" O.C., SEE DETAIL 9/A-7.1 FOR STEEL POST WALL REINFORCEMENT. (SERVICE AREA) FRP OVER 1/2" PLYWOOD, EACH SIDE. CAP WITH 2x6 PAINTED P01. (LOBBY) 5/8" GYP. BD. PAINTED. CAP WITH MELAMINE WRAPPED 1x6 BY MILLWORK VENDOR.
P3	2 X 4 WOOD STUDS @ 16" O.C., WITH 5/8" GYP BD. EA. SIDE. SEE GENERAL NOTE #33. PROVIDE M.R. GYP BOARD IN WET AREAS.	P7	2 X 6 WOOD STUDS ON HORIZONTAL 2X BRIDGING WITH 1/2" PLYWOOD & 2" EIFS ON EXTERIOR SIDE OVER WALL TYPE 'P1'. (SEE STRUCT. FOR STUD SPACING)
P4	2 X 6 WOOD STUDS @ 16" O.C., WITH SOUND BATT INSULATION IN CAVITIES, WITH 5/8" GYP BD. EA. SIDE. PROVIDE M.R. GYP BOARD IN WET AREAS. ON DEMISING WALL BETWEEN CUSTOMER LOBBY ROOM AND OIL SERVICE BAYS. PROVIDE 1/2" PLYWOOD W/ FRP TO 96" A.F.F. ON SERVICE BAY SIDE ONLY.		

**PROJECT:**  
GUGGENHEIM

PROPOSED DEVELOPMENT

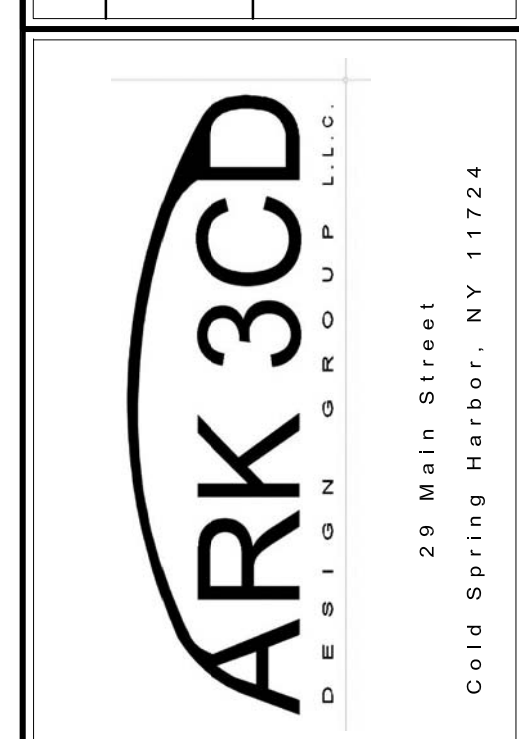
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	A-02.0
SCALE	AS NOTED
SHT. NO.	2 OF 11



ISSUED FOR:	
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS		
NO.	DATE	DESCRIPTION

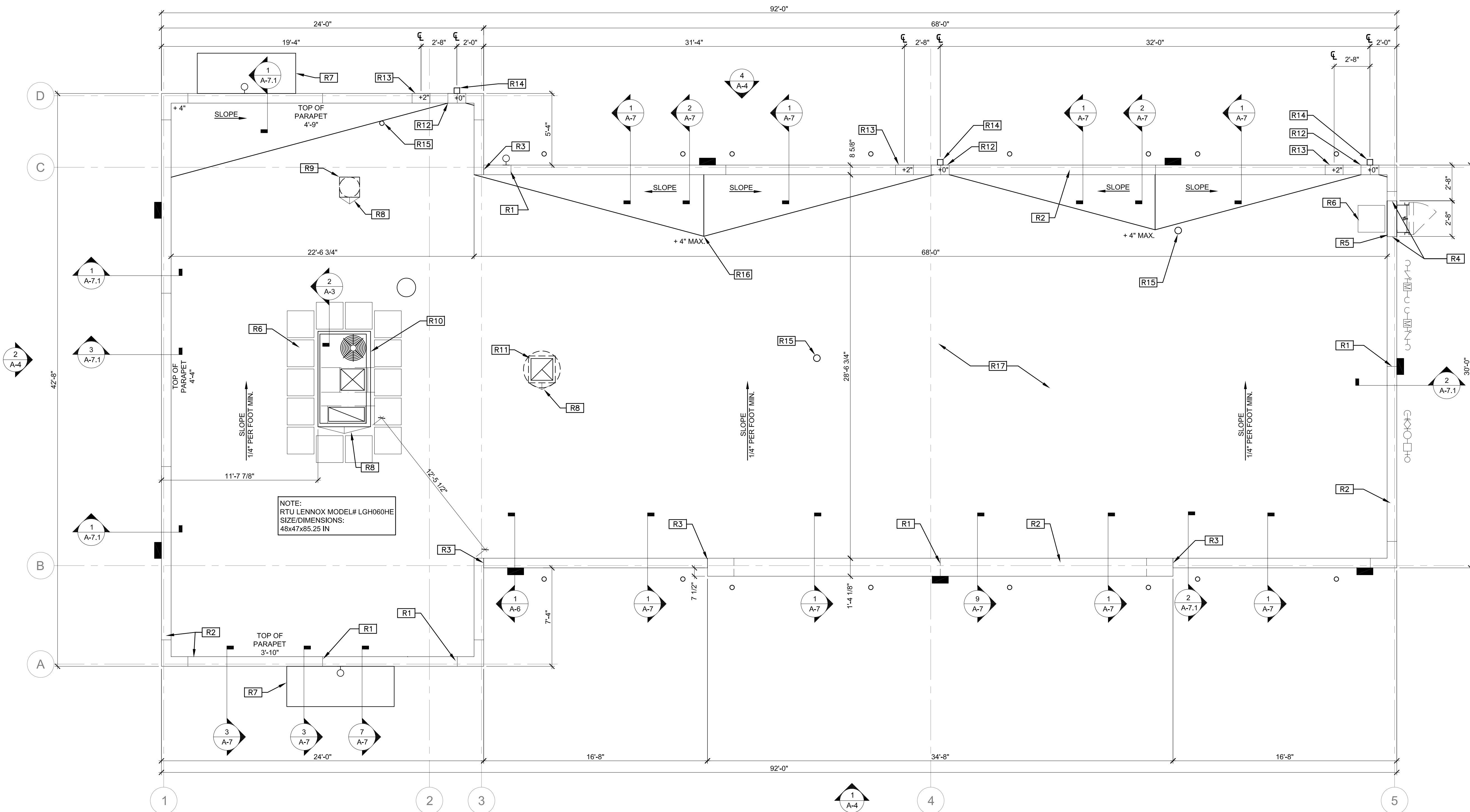


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DRAWING

PROJECT:  
**GUGGENHEIM**  
  
PROPOSED DEVELOPMENT  
  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

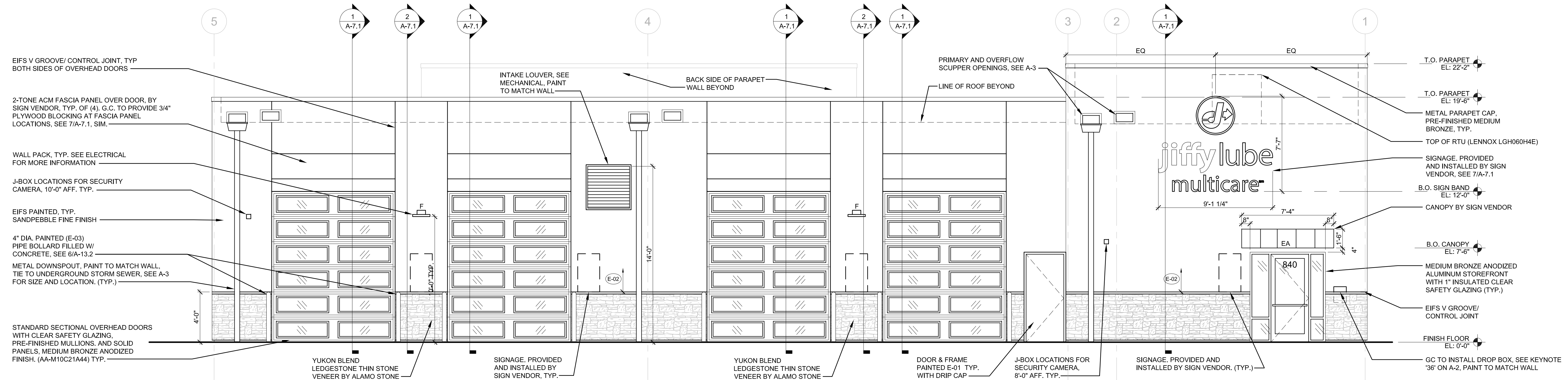
DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	<b>A-03.0</b>
SCALE	AS NOTED
SHT. NO.	3 OF 11



**1** **ROOF PLAN**  
A-03 SCALE: 1/4"=1'-0"

GENERAL NOTES	
1.	PROVIDE APPROPRIATE BOOT AND COLLAR FLASHING AT VENT AND FLUE ROOF PENETRATIONS, TYP.
2.	SINGLE PLY ROOFING WITH R-30 RIGID INSULATION, TYP.
3.	DATE CABLE PENETRATION, LOCATION PER DISH INSTALLER REFER. 8/A-3.

PLAN KEY NOTES			
<b>R1</b>	METAL COPING SPLICE DETAIL, TYP. SEE 6/A-3	<b>R11</b>	EXHAUST HOOD, SEE MECHANICAL DRAWINGS FOR CURB DETAIL AND LOCATIONS
<b>R2</b>	PREFINISHED CAP FLASHING	<b>R12</b>	SCUPPER OPENING, 8" TALL X 16" WIDE, TYP. OF (3). SEE DETAIL 4/A-3
<b>R3</b>	STEP IN CAP FLASHING. SEE 5/A-7 & 7/A-3, TYP.	<b>R13</b>	OVERFLOW SCUPPER, 8" TALL X 16" WIDE, TYP. OF (3). SEE DETAIL 3/A-3
<b>R4</b>	STEP IN CAP FLASHING. SEE 5/A-7, TYP.	<b>R14</b>	SCUPPER COLLECTOR BOX WITH 5" X 5" DOWNSPOUT, TYP. OF (3). TIE TO STORM SEWER. SEE 4/A-3. PAINT TO MATCH ADJACENT WALL
<b>R5</b>	OPENING THROUGH PARAPET FOR ROOF ACCESS SEE DETAIL 4/A-7.1	<b>R15</b>	VENT THROUGH ROOF, TYP. SEE 5/A-3 AND MECHANICAL DRAWINGS FOR MORE INFORMATION
<b>R6</b>	WALK PAD	<b>R16</b>	PROVIDE MINIMAL SLOPE TO PREVENT PONDING. MAX HEIGHT 4" ABOVE DRAIN, TYP.
<b>R7</b>	OUTLINE OF CANOPY BELOW		
<b>R8</b>	CRICKET		
<b>R9</b>	EXHAUST FAN, SEE MECHANICAL DRAWINGS		
<b>R10</b>	ROOFTOP UNIT, SEE MECHANICAL DRAWINGS		
		<b>R17</b>	SINGLE PLY WHITE ROOF MEMBRANE, SEE SPECIFICATION SHEETS



**4 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

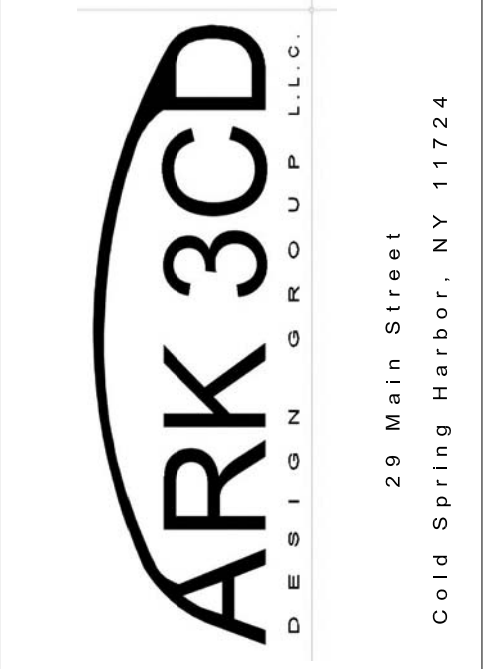
NOTE:  
FOR ALL EXTERIOR BUILDING LIGHTING FIXTURES TAGGED (EA & F) SEE SHEET A-04.2 AND A-04.3 FOR SPEC. SHEET INFORMATION

ISSUED FOR:

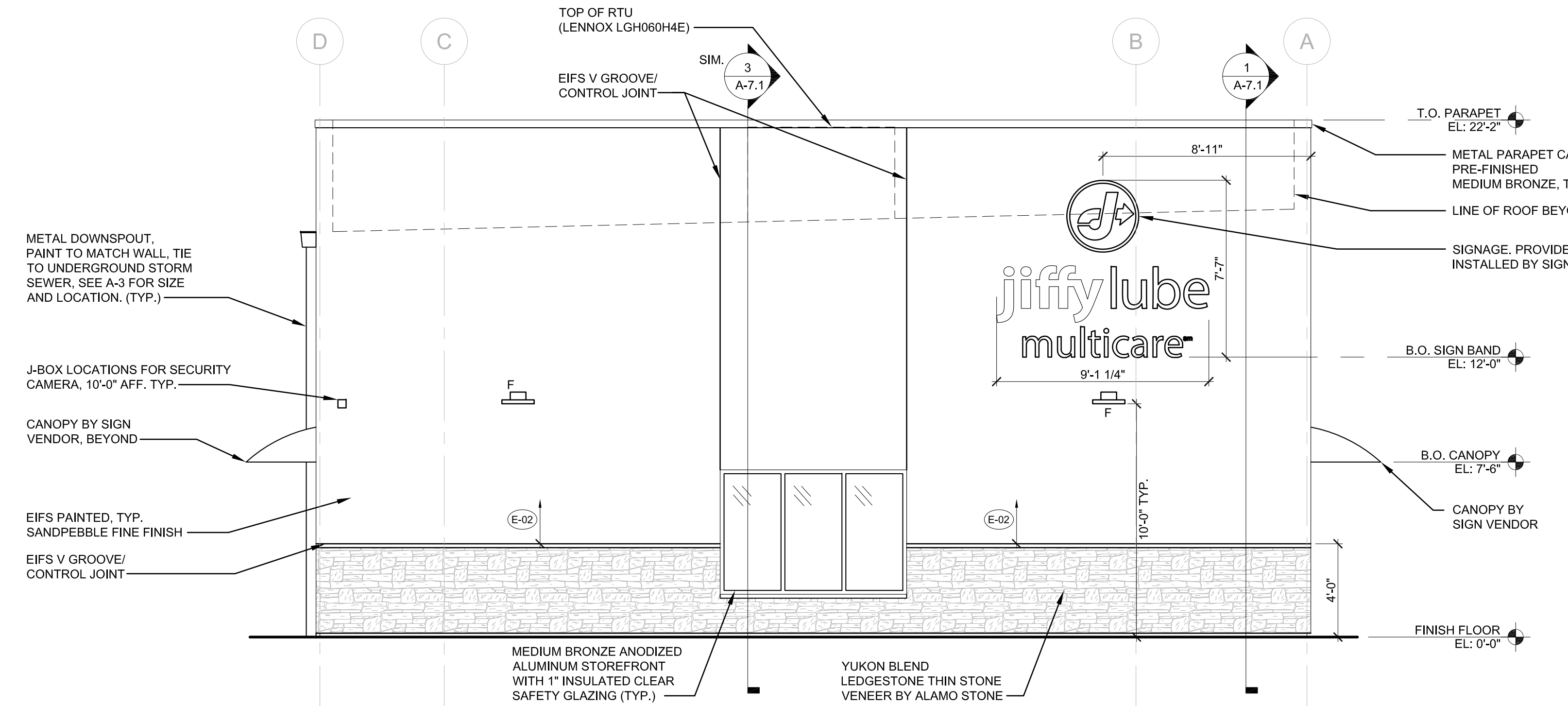
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS

NO.	DATE	DESCRIPTION
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THIS CERTIFIES THAT THESE PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT COMPLY WITH THE LATEST PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.



**2 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE:  
FOR ALL EXTERIOR BUILDING LIGHTING FIXTURES TAGGED (EA & F) SEE SHEET A-04.2 AND A-04.3 FOR SPEC. SHEET INFORMATION

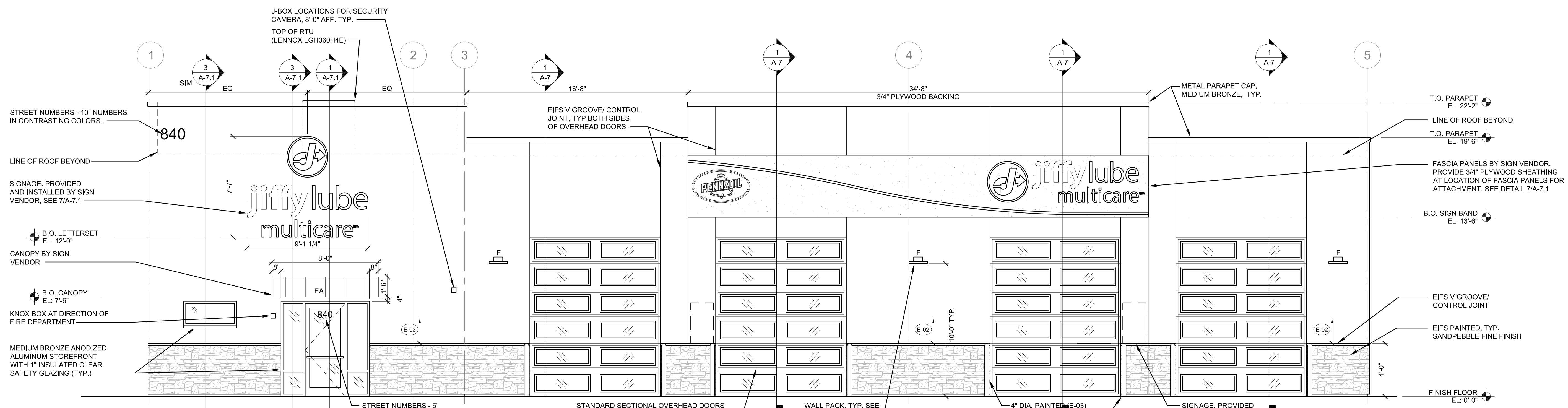
**DRAWING ELEVATIONS**

PROJECT:  
**GUGGENHEIM**  
  
PROPOSED DEVELOPMENT  
  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	<b>A-04.0</b>
SCALE	AS NOTED
SHT. NO.	4 OF 11

MARK	EXTERIOR FINISH SCHEDULE:	MATERIAL	MFR #	COLOR
E01	EXT. WALLS: WAINSCOT / SIGN POLES / FENCES / EXT. DOORS AND TRIM	PAINT (SATIN / SEMI-GLOSS)	SW2827	COLONIAL REVIVAL STONE
E02	EXT. WALLS ABOVE WAINSCOT	PAINT (SEMI-GLOSS)	SW7005	PURE WHITE
E03	EXT. WALLS: REAR FASCIA / HANDRAILS / GUARD RAILS / TRAFFIC BOLLARDS	PAINT (SEMI-GLOSS)	SW6314	LUXURIOUS RED
E04	EXT. WALLS: APPLY OVER RED COLOR ABOVE	PAINT (SEMI-GLOSS)	CLEAR COAT	SHER-CLEAR

GENERAL NOTE:  
1. ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS. DESCRIPTION: (ALL "SHERWIN / WILLIAMS" NUMBERS "SW" COLORS)  
2. APPLY CLEAR COAT (E-04) OVER RED (E-03) ON EXTERIOR APPLICATIONS.  
3. ALL SIGNAGE SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. ALL SIGNAGE IS UNDER SEPARATE PERMIT AND FINAL DESIGN IS BY SIGNAGE VENDOR.  
4. ALL SECURITY CAMERA LOCATIONS ARE FOR ILLUSTRATION PURPOSES ONLY. ALL FINAL LOCATIONS TO BE COORDINATED WITH SECURITY VENDOR.



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

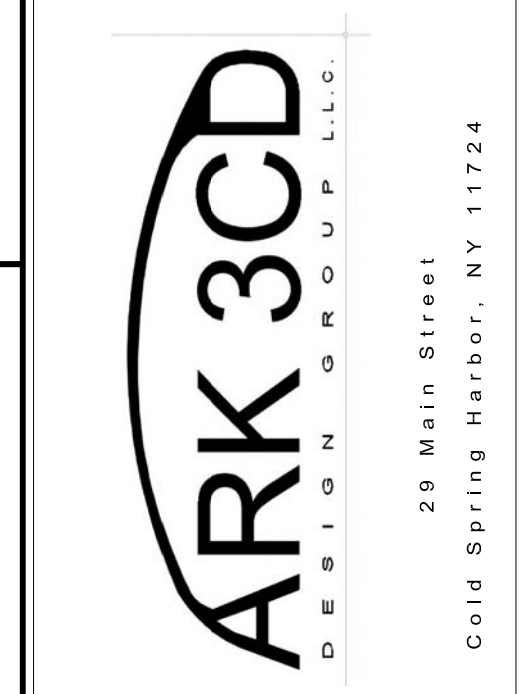
NOTE:  
FOR ALL EXTERIOR BUILDING LIGHTING FIXTURES TAGGED (EA & F) SEE SHEET A-04.2 AND A-04.3 FOR SPEC. SHEET INFORMATION

ISSUED FOR:

DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

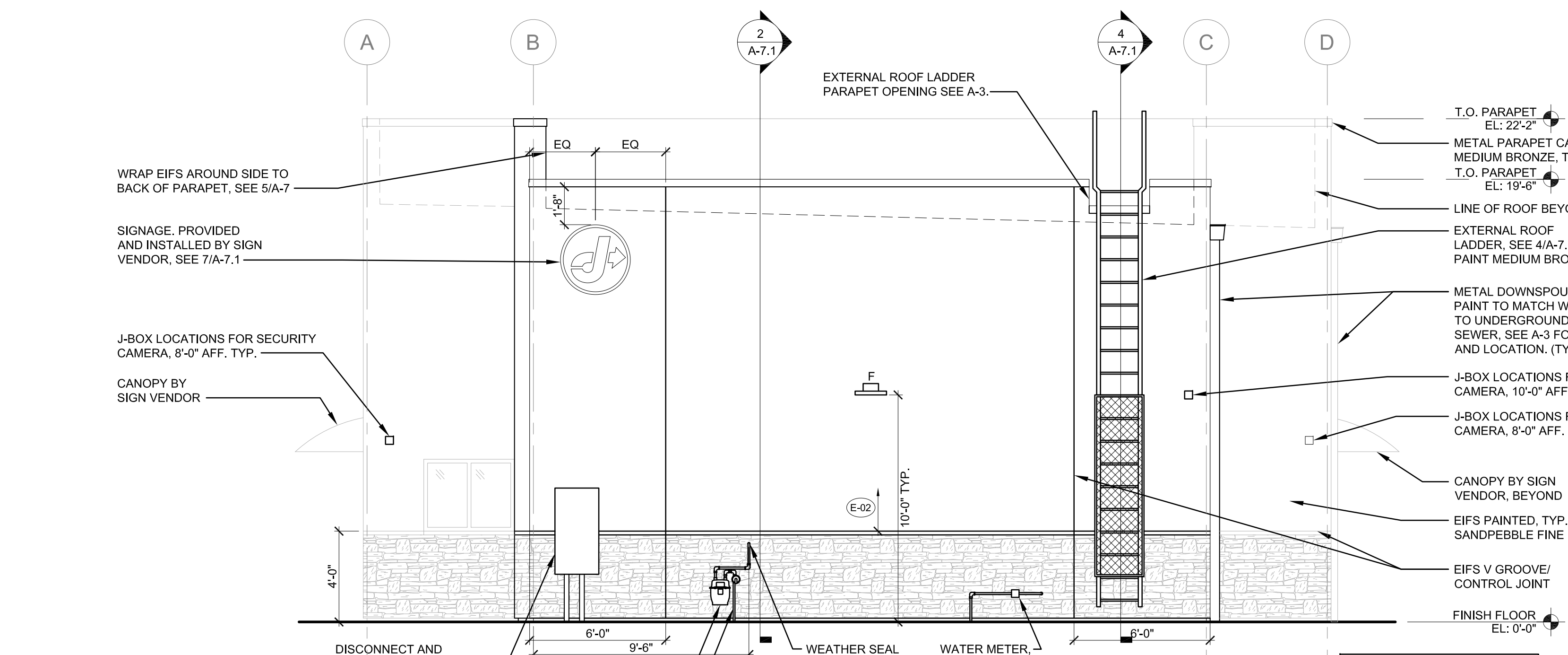


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DRAWING ELEVATIONS

PROJECT:  
**GUGGENHEIM**  
PROPOSED DEVELOPMENT  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	A-04.1
SCALE	AS NOTED
SHT. NO.	5 OF 11



**3 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE:  
FOR ALL EXTERIOR BUILDING LIGHTING FIXTURES TAGGED (EA & F) SEE SHEET A-04.2 AND A-04.3 FOR SPEC. SHEET INFORMATION

MARK	EXTERIOR FINISH SCHEDULE:	MATERIAL	MFR #	COLOR	GENERAL NOTE:
E01	EXT. WALLS: WAINSCOT / SIGN POLES / FENCES / EXT. DOORS AND TRIM	PAINT (SATIN / SEMI-GLOSS)	SW2827	COLONIAL REVIVAL STONE	1. ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS. DESCRIPTION: (ALL "SHERWIN / WILLIAMS" NUMBERS "SW" COLORS) 2. APPLY CLEAR COAT (E-04) OVER RED (E-03) ON EXTERIOR APPLICATIONS. 3. ALL SIGNAGE SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. ALL SIGNAGE IS UNDER SEPARATE PERMIT AND FINAL DESIGN IS BY SIGNAGE VENDOR. 4. ALL SECURITY CAMERA LOCATIONS ARE FOR ILLUSTRATION PURPOSES ONLY. ALL FINAL LOCATIONS TO BE COORDINATED WITH SECURITY VENDOR.
E02	EXT. WALLS ABOVE WAINSCOT	PAINT (SEMI-GLOSS)	SW7005	PURE WHITE	
E03	EXT. WALLS: REAR FASCIA / HANDRAILS / GUARD RAILS / TRAFFIC BOLLARDS	PAINT (SEMI-GLOSS)	SW6314	LUXURIOUS RED	
E04	EXT. WALLS: APPLY OVER RED COLOR ABOVE	PAINT (SEMI-GLOSS)	CLEAR COAT	SHER-CLEAR	

# Evolve™ LED Wall Pack

## N Series (EWNB)



### Product Features

The next generation of the GE Evolve™ LED Wall Pack is designed to efficiently illuminate walkways, area, and general lighting applications. The EWNB features an advanced LED optical system that provides high uniformity, excellent vertical light distribution, reduced on-site glare and effective security light levels. The EWNB Wall Pack offers identical photometrics to the EANB Area Light, which allows lighting designers to capitalize on the same features without compromising site layouts. In keeping with a sleek design strategy, this product offers a modern look, balancing the need for photometric scalability with reliable workhorse performance.

### Applications

- Wall mounted, site, area and general lighting utilizing an advanced LED optical system providing uniformity, vertical light distribution, reduced on-site glare and effective security light levels.

### Housing

- Die-cast aluminum housing.
- Slim architectural design incorporates an integral heat sink and light engine, ensuring maximum heat transfer, long LED life, and a reduced Effective Projected Area (EPA).
- 3G vibration per ANSI C136.31-2010.
- For 2G rating contact manufacturer.

### LED & Optical Assembly

- Structured LED array for optimized area light and wall pack photometric distribution.
- Evolve™ LED light engine utilizes reflective technology to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 3000K, 4000K & 5000K typical.

### Lumen Maintenance

- Projected L90>50,000 hours per IES TM-21
- Projected Lx per IES TM-21 at 25°C for reference.

SKU	Lx (1000) HOURS		
	25,000 HR	50,000 HR	100,000 HR
EWNB	L98	L95	L90

NOTES: 1) Projected Lx based on IES TM-21 testing. 2) C0/C4 Lighting Facts verification testing (wherever applicable) to verify luminous flux and lumen maintenance measurements.

### Lumen Ambient Temperature Factors:

LUMEN AMBIENT TEMPERATURE FACTORS:	
AMBIENT TEMPERATURE (°C)	INITIAL FLUX FACTOR
10	1.02
20	1.01
25	1.00
30	0.99
40	0.98
50	0.97

### Ratings

- C0/C4 listed, suitable for wet locations
- IP66 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 50°C.
- Upward Light Output Ratio (ULOR) = 0
- Title 24 compliant with "H" motion sensor option.
- Compliant with the material restriction requirements of RoHS.

### Mounting

- Flush wall mount with convenient tab and slot mounting for easy "J" box installation. 1/2" conduit holes are included for non-"J" box installation.

### Finish

- Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.
- Standard colors: Black and Dark Bronze.
- RAL & custom colors available.

### Electrical

- 120-277 VAC and 347-480 VAC available.
- System power factor is >90% and THD <20%.
- ANSI C136.41 7-pin dimming receptacle, standard.
- ANSI photo electric sensors (PE) available for all voltages. Light Grid compatible.
- Dimming/Occupancy:
  - Wired 0-10V continuous dimming
  - DALI digital dimming. Contact manufacturer for availability.
  - Standalone motion sensor based dimming using "H" option code.
- Surge Protection per ANSI C136.2-2015.
  - 6kV/5kA "Basic" surge protection, standard.
  - 10kV/5kA "Enhanced" surge protection optional.

### Accessories

- Escutcheon Plates - See page 6
- PE Accessories - See Page 3

### Ordering Number Logic

Evolve LED Wall Pack N Series (EWNB)

**EWNB** - - - - - **Z** - - - - -

PROD. ID	PHOTOMETRIC SERIES	VOLTAGE	OPTICAL CODE	CRI	LED COLOR TEMP.	PE FUNCTION	MOUNTING APP.	COLOR	OPTIONS
E = Evolve	B = Photometric Series "B"	0 = 120-277V 1 = 120 2 = 200 3 = 240 4 = 277 5 = 480 6 = 575 N = 347-480V*	0 = 120-277V 1 = 120 2 = 200 3 = 240 4 = 277 5 = 480 6 = 575 N = 347-480V*	7 = 70 (min)	30 = 3000K 40 = 4000K 50 = 5000K	1 = None 2 = Button #4 A = ANSI C136.41 Z = Light Receptor # D = ANSI C136.41 M = 5 pin Receptor with Shorting Cap. #	N = None Required	BLCK = Black DNBZ = Dark Bronze GRY = Gray WHT = White Contact manufacturer for other colors.	D = External Dimming Leads Provided ID = 120V/60Hz Input F = Furling L = Footcandle entry R = 100% Enhanced Surge Protection S = Motion Sensor U = DALI Dimming** XXX = Special Options

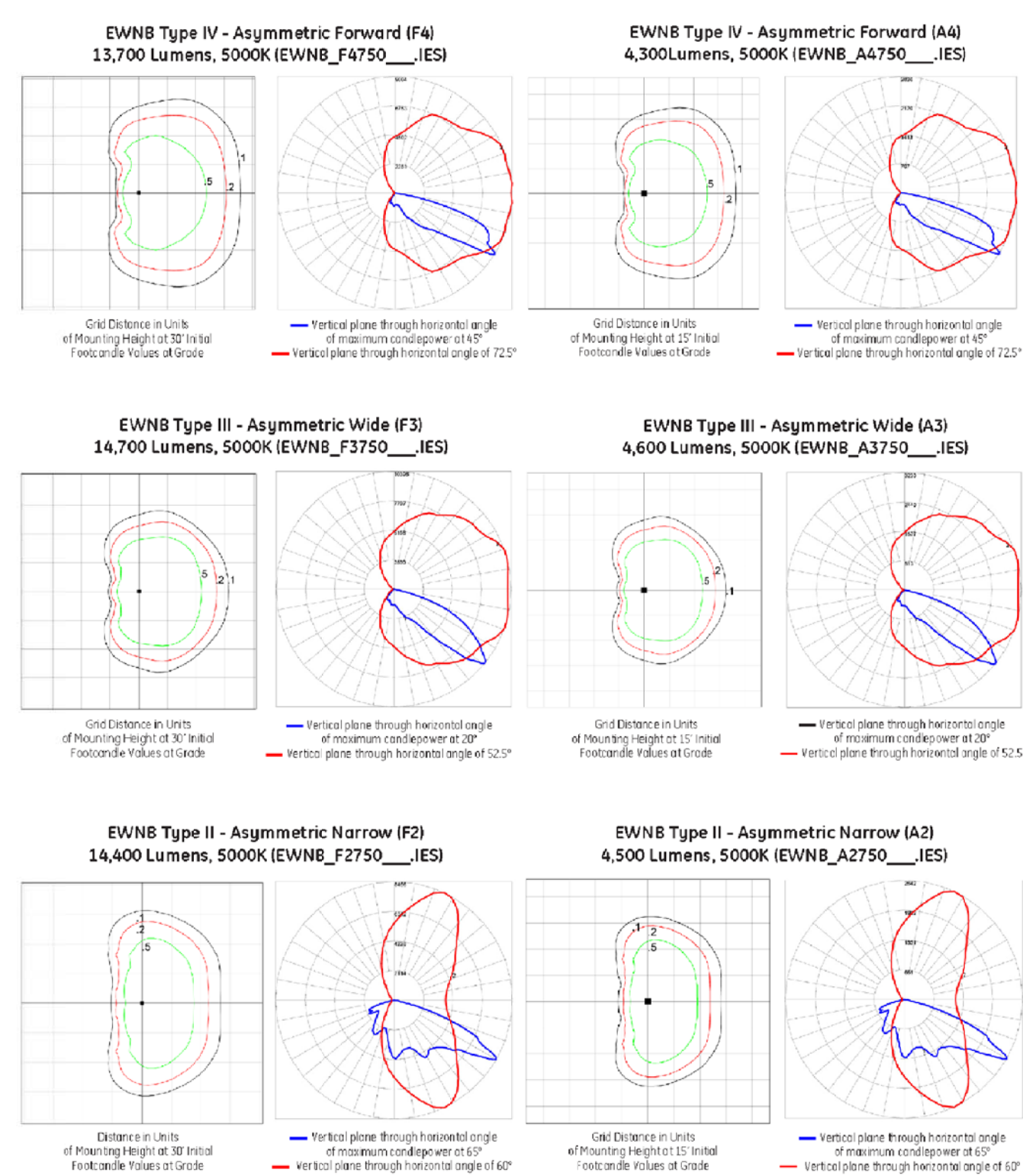
TYPE	OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE	BUG RATING	IES FILE NUMBER		
			3000K	4000K			4000K & 5000K	4000K	5000K
TYPE IV	AA	Asymmetric Forward	4000	4300	44	B1-U0-S1	B1-U0-G1	EWNB_A470_ES	EWNB_A470_ES
	BA	Asymmetric Forward	5800	4200	58	B1-U0-S2	B1-U0-G2	EWNB_B470_ES	EWNB_B470_ES
	CA	Asymmetric Forward	7500	8000	70	B1-U0-S2	B1-U0-G2	EWNB_C470_ES	EWNB_C470_ES
	DA	Asymmetric Forward	9200	9300	69	B1-U0-S2	B1-U0-G2	EWNB_D470_ES	EWNB_D470_ES
TYPE III	E4	Asymmetric Forward	10,600	11,500	98	B2-U0-S2	B2-U0-G2	EWNB_E470_ES	EWNB_E470_ES
	FA	Asymmetric Forward	12,900	13,700	125	B2-U0-S3	B2-U0-G3	EWNB_F470_ES	EWNB_F470_ES
	A3	Asymmetric Wide	4,300	4,600	44	B1-U0-S1	B1-U0-G1	EWNB_A370_ES	EWNB_A370_ES
	B3	Asymmetric Wide	6,200	6,600	58	B1-U0-S1	B1-U0-G1	EWNB_B370_ES	EWNB_B370_ES
TYPE II	C3	Asymmetric Wide	8,100	8,600	70	B1-U0-S2	B1-U0-G2	EWNB_C370_ES	EWNB_C370_ES
	D3	Asymmetric Wide	9,900	10,500	69	B2-U0-S2	B2-U0-G2	EWNB_D370_ES	EWNB_D370_ES
	E3	Asymmetric Wide	11,600	12,400	98	B2-U0-S2	B2-U0-G2	EWNB_E370_ES	EWNB_E370_ES
	F3	Asymmetric Wide	13,600	14,300	125	B2-U0-S2	B2-U0-G2	EWNB_F370_ES	EWNB_F370_ES
TYPE II	A2	Asymmetric Narrow	4,200	4,500	44	B1-U0-S1	B1-U0-G1	EWNB_A270_ES	EWNB_A270_ES
	B2	Asymmetric Narrow	6,100	6,500	58	B1-U0-S1	B1-U0-G1	EWNB_B270_ES	EWNB_B270_ES
	C2	Asymmetric Narrow	7,900	8,400	70	B2-U0-S2	B2-U0-G2	EWNB_C270_ES	EWNB_C270_ES
	D2	Asymmetric Narrow	9,700	10,300	69	B2-U0-S2	B2-U0-G2	EWNB_D270_ES	EWNB_D270_ES
TYPE II	E2	Asymmetric Narrow	11,400	12,100	98	B2-U0-S2	B2-U0-G2	EWNB_E270_ES	EWNB_E270_ES
	F2	Asymmetric Narrow	13,600	14,400	125	B2-U0-S2	B2-U0-G2	EWNB_F270_ES	EWNB_F270_ES

### PE Accessories (to be ordered separately)

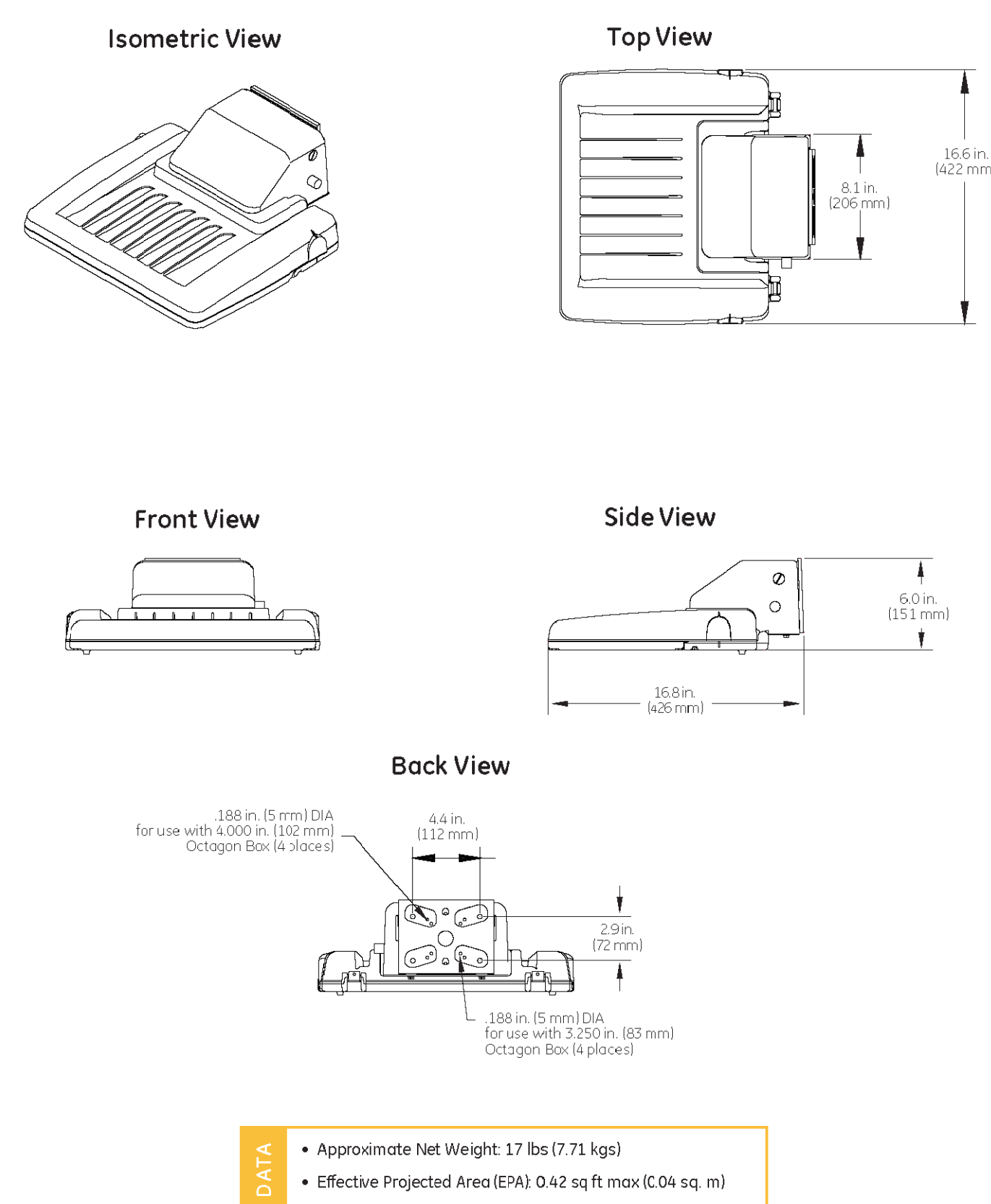
SKU Number	Part Number	Description
93029237	PEC-9A-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PEC-9A-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PEC-8B-LED-7	ANSI C136.41 Dimming PE, 480V

SKU Number	Part Number	Description
28299	PECTL	STANDARD 120-277V
28294	PECTL	STANDARD 480V
80436	PECTL	STANDARD 347V
73251	SCCL-PECTL	Shorting cap.

### Photometrics

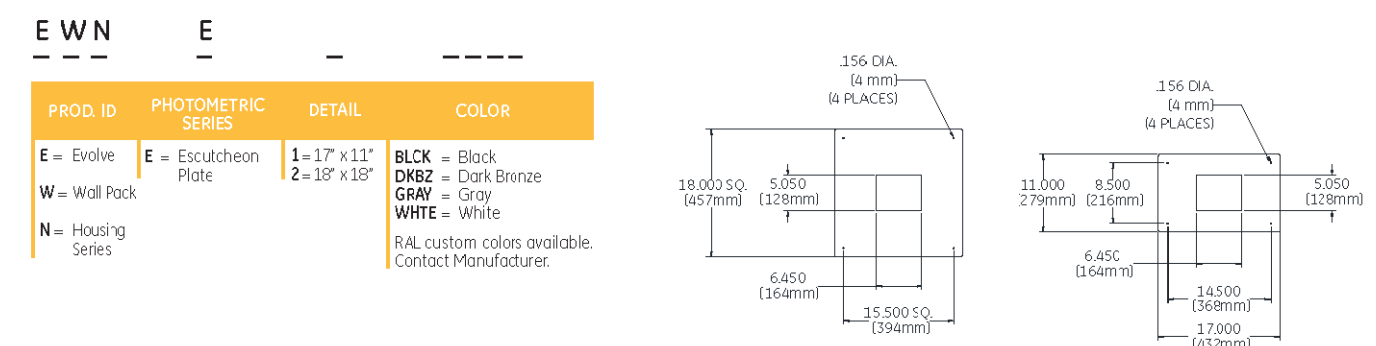


### Product Dimensions



### Accessories:

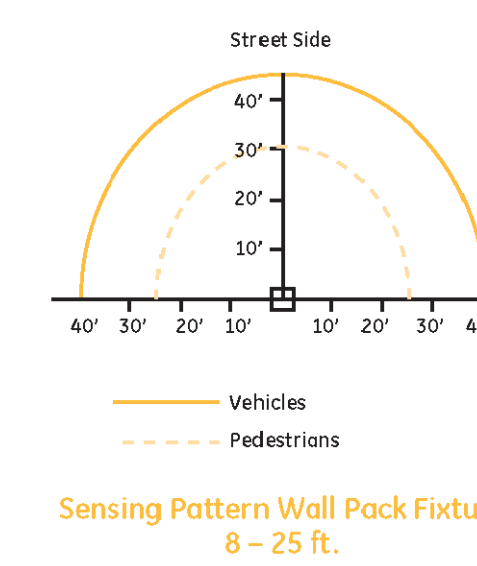
**Escutcheon Plates**  
Cover unsightly debris and marks left behind from replacing HID product with escutcheon plates. Available in square and rectangular sizes, as well as in an assortment of colors to match the luminaire. Accessories are ordered and shipped separately from the luminaire.



### H-Motion Sensing Option:

- Intended for mounting applications between 8-25ft.
- Provides a coverage area radius for walking motion of 15-20ft (4.57-6.10m).
- Provides 180° of coverage (180° is blocked by the wall).
- Delivered factory setting of 50% dimmed light output with no occupancy.
- May be reprogrammed using additional remote programmer.
- Remote Programmer part number: WS FSIR-100 PROGRAMMER (197634).
- Photoelectric control is integrated through the motion sensor, and is offered as standard.

### Sensor Pattern:



ISSUED FOR:

DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS

NO.	DATE	DESCRIPTION
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ARK 3CD  
29 Main Street  
Cold Spring Harbor, NY 11724

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DRAWING  
LIGHTING SPEC

PROJECT:  
GUGGENHEIM  
PROPOSED DEVELOPMENT  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	A-04.2

SCALE	A5 NOTED	SHT. NO.	6 OF 11
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Project	Catalog #	Type
Prepared by	Notes	Date



### Sure-Lites APWR Series


Remote Heads LED Emergency Heads  
Wet Location Listed

**Typical Applications**  
Office • Education • Healthcare • Hospitality  
Retail • Industrial • Manufacturing

**Interactive Menu**

- Order Information page 2
- Photometric Data page 2
- Control Solutions page 2
- Connected Systems page 2
- Product Warranty

**Product Certification**

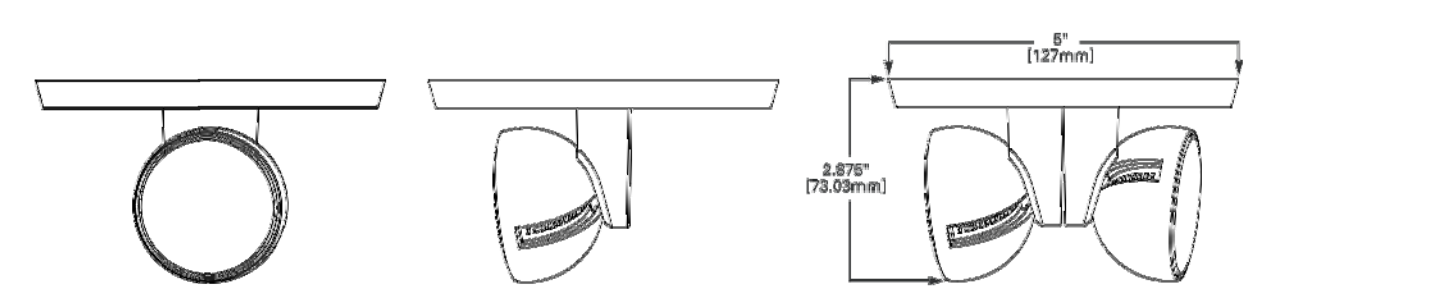


**Product Features**

**Top Product Features**

- 3.6V, .78W DC long lasting LED heads
- Lamp heads adjust 80° from vertical with 358° rotation
- Universal mounting plate
- Flame-resistant and impact-resistant
- Injection-molded thermoplastic material

**Dimensional Details**



8" (127mm)

2.875" (73.03mm)

[additional product diagrams](#)

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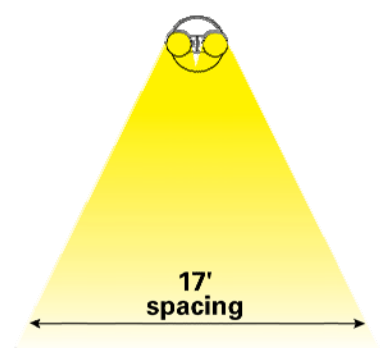
## Sure-Lites APWR Series

**APWR2BK**  
SAMPLE ORDER NUMBER: APWR2BK

**Order Information**

Series	Remote Heads	Housing Color	Catalog Numbers
APWR	1-head LED head 3-head LED heads	Fluorescing Color White Black	APWR1, APWR2, APWR3BK, APWR2BK

**APWR Spacing**



17' spacing

**Product Specifications**

<p><b>Electrical</b></p> <ul style="list-style-type: none"> <li>3.6V DC Input Voltage</li> </ul> <p><b>Lamp/holder/Mounting Plate Construction</b></p> <ul style="list-style-type: none"> <li>Flame resistant and impact resistant, injection molded thermoplastic</li> <li>Lamp heads adjust 80° from vertical with 358° rotation</li> <li>Universal mounting plate</li> <li>Available in white or black</li> </ul>	<p><b>Code Compliance</b></p> <ul style="list-style-type: none"> <li>UL Listed</li> <li>Wet Location Listed (APWR)</li> <li>1-80 C to 85 C (-22 F) to 122 F</li> <li>California Energy Code compliant</li> </ul> <p><b>Head/Lamp Data</b></p> <ul style="list-style-type: none"> <li>Long Life LED Emergency Heads</li> <li>Fully adjustable</li> <li>High Impact thermoplastic</li> <li>Matches housing finish</li> <li>3.6V, .78W DC Long Lasting LED Heads</li> </ul>	<p><b>Warranty</b></p> <ul style="list-style-type: none"> <li>Five-year warranty</li> </ul>
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Cooper Lighting Solutions  
123 Highway 50 East  
P.O. Box 100  
P. 770-485-4500  
www.cooperlighting.com

Specifications and dimensions  
subject to change without notice.


TD60101 EN - August 28, 2019 3:10 PM | page 2

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REVISIONS

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29 Main Street  
Cold Spring Harbor, NY 11724

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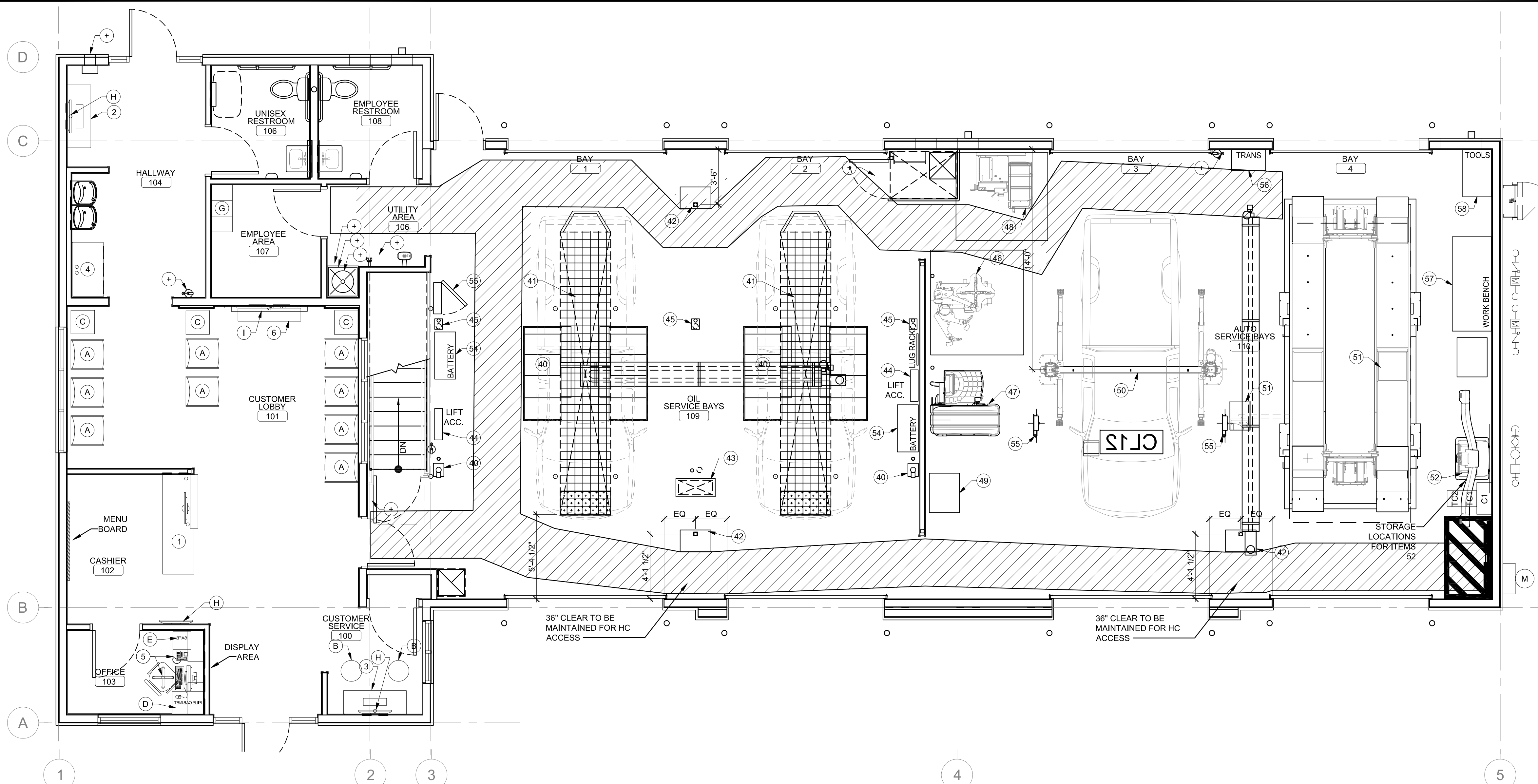
DRAWING LIGHTING SPEC

PROJECT:  
**GUGGENHEIM**

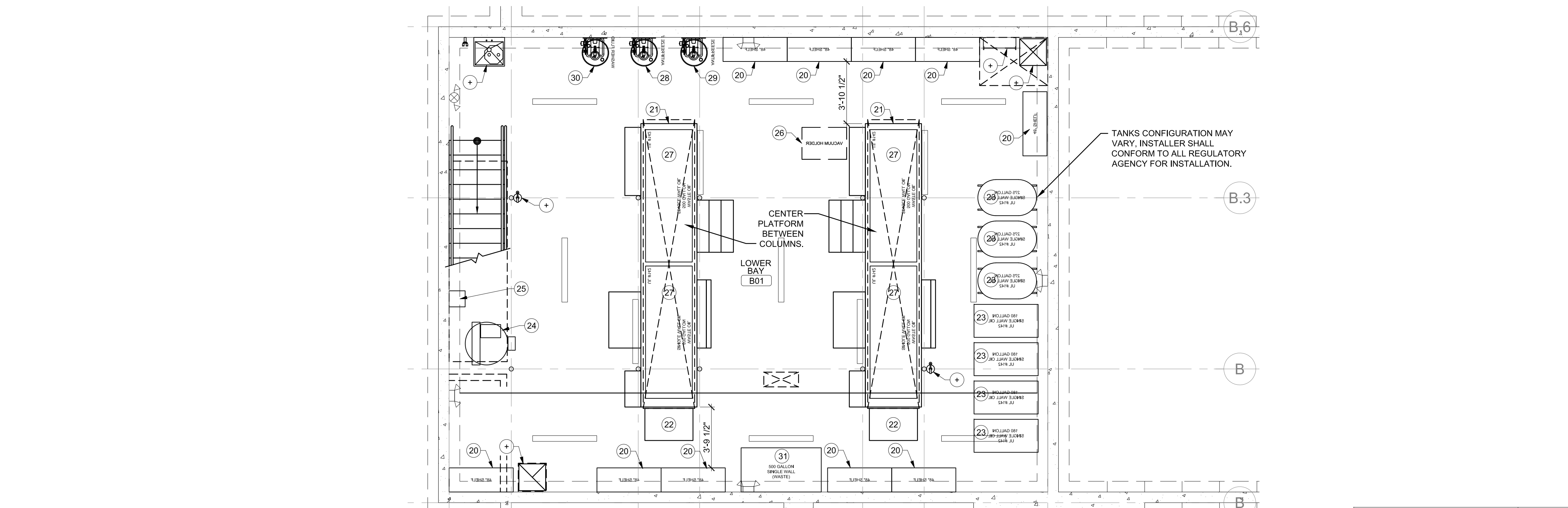
PROPOSED DEVELOPMENT

840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	A-04.3
SCALE	AS NOTED
SHT. NO.	7 OF 11



**1 EQUIPMENT PLAN - UPPER BAY**  
 A-13.0 SCALE: 1/4"=1'-0"



**2 EQUIPMENT PLAN - LOWER BAY**  
 A-13.0 SCALE: 1/4"=1'-0"

**GENERAL NOTES:**  
 1. ALL ITEMS ARE TO BE PURCHASED, PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, GENERAL CONTRACTOR SHALL USE NATIONAL PURCHASING ACCOUNTS FOR VENDORS LISTED BELOW.  
 2. LIFT SUPPLIERS INSTALLS ALL THEIR EQUIPMENT.  
 3. BUILDING MUST BE SECURE AND PAVEMENT COMPLETE PRIOR TO DELIVERY AND INSTALLATION OF EQUIPMENT.  
 4. EQUIPMENT SHOWN IS A PRELIMINARY LAYOUT. FINAL EQUIPMENT PROVIDED AND EQUIPMENT LAYOUT MUST BE VERIFIED WITH THE FRANCHISEE / JLI PRIOR TO ORDERING / INSTALLATION.  
 5. PIPING FOR ALL LIQUID/ AIR DELIVERY EQUIPMENT PROVIDED THROUGH VENDOR.

#	FURNITURE SCHEDULE	PURCHASED BY	INSTALLED BY	COMMENTS
A.	LOUNGE CHAIRS	FRANCHISEE	FRANCHISEE	
B.	STOOLS	FRANCHISEE	FRANCHISEE	
C.	END TABLE	FRANCHISEE	FRANCHISEE	
D.	FILE CABINET	FRANCHISEE	FRANCHISEE	
E.	SAFE	FRANCHISEE	FRANCHISEE	
F.	MICROWAVE & REFRIGERATOR.	FRANCHISEE	FRANCHISEE	NOT SHOWN
G.	LOCKERS	FRANCHISEE	FRANCHISEE	
H.	MONITOR(S)	FRANCHISEE	FRANCHISEE	
I.	FLAT SCREEN TV.	FRANCHISEE	FRANCHISEE	
J.	TABLE AND CHAIRS	FRANCHISEE	FRANCHISEE	NOT SHOWN
K.	TRAINING KIOSK	FRANCHISEE	FRANCHISEE	NOT SHOWN

\*NATIONAL ACCOUNT PRICING AVAILABLE ON MILLWORK PACKAGE CONTACT JIFFY LUBE FOR INFORMATION.  
 \*GC TO CONFIRM WITH JLI PM ON FINAL MILLWORK SELECTION PER OPTIONS SHEETS FOR BUILD TO SUIT LOCATIONS  
 \*JIFFY LUBE (JLI) TO PROVIDE APPROVED MILLWORK VENDOR LIST

#	MILLWORK SCHEDULE	PURCHASED BY	INSTALLED BY	COMMENTS
1.	POINT OF SALE- (POS)	OWNER	GC	
2.	CUSTOMER SERVICE ADVISOR (CSA #1)	OWNER	GC	
3.	CUSTOMER SERVICE ADVISOR (CSA #2)	OWNER	GC	
4.	COFFEE BAR	OWNER	GC	
5.	OFFICE MILLWORK (DESK / UPPER CABINETS)	OWNER	GC	
6.	TV CABINET	OWNER	GC	OPTIONAL
7.	OBSERVATION BAR (WALL MOUNTED)	OWNER	GC	OPTIONAL
8.	OBSERVATION BAR	OWNER	GC	OPTIONAL

#	EQUIPMENT SCHEDULE (LOWER BAY)	PURCHASED BY	INSTALLED BY	COMMENTS
20.	SHELVES	OWNER	VENDOR	
21.	SERVICE PLATFORM	OWNER	VENDOR	
22.	ROLLING OIL DRAIN PAN	OWNER	VENDOR	
23.	FRESH OIL TANKS	OWNER	VENDOR	
24.	AIR COMPRESSOR	OWNER	VENDOR	
25.	AIR DRYER	OWNER	VENDOR	
26.	VACUUM HOLDER CEILING MOUNTED	OWNER	VENDOR	
27.	FRESH OIL CATWALK TANKS	OWNER	VENDOR	OPTIONAL
28.	ANTIFREEZE	OWNER	VENDOR	
29.	WASTE ANTIFREEZE	OWNER	VENDOR	
30.	WINDSHIELD WASHER FLUID	OWNER	VENDOR	
31.	WASTE OIL TANK	OWNER	VENDOR	

#	EQUIPMENT SCHEDULE (UPPER BAY)	PURCHASED BY	INSTALLED BY	COMMENTS
40.	LOW RISE LIFT AND LIFT CONTROLS	OWNER	VENDOR	RECESSED
41.	BAY NETS	OWNER	OWNER	VERIFY TYPE
42.	SERVICE PODIUM	OWNER	VENDOR	
43.	LUBE CONSOLE	OWNER	VENDOR	
44.	LIFT ACCESSORY RACK	OWNER	OWNER	
45.	VACUUM STAND WITH ROCKER SWITCH	OWNER	OWNER	ELC
46.	TIRE CHANGER	FRANCHISEE	FRANCHISEE	
47.	TIRE BALANCER	FRANCHISEE	FRANCHISEE	
48.	BRAKE LATHE	FRANCHISEE	FRANCHISEE	
49.	OBD MACHINE (IN SELECT MARKETS)	OWNER	VENDOR	
50.	2- POST LIFT	OWNER	VENDOR	ELC
51.	ALIGNMENT SCISSOR LIFT AND CONTROLS	OWNER	VENDOR	ELC /RECESSED
52.	ALIGNER	FRANCHISEE	FRANCHISEE	
53.	CEILING MOUNTED AIR HOSE REELS	OWNER	VENDOR	
54.	BATTERY RACK	FRANCHISEE	FRANCHISEE	
55.	CEILING MOUNTED AIR HOSE	FRANCHISEE	FRANCHISEE	
56.	TRANSMISSION SERVICE EQUIPMENT	FRANCHISEE	FRANCHISEE	
57.	WORKBENCH	FRANCHISEE	FRANCHISEE	
58.	A/C SERVICE EQUIPMENT	FRANCHISEE	FRANCHISEE	
59.	NEW TIRE STORAGE RACK(S)	FRANCHISEE	FRANCHISEE	NOT SHOWN
60.	USED TIRE STORAGE RACK(S)	FRANCHISEE	FRANCHISEE	NOT SHOWN

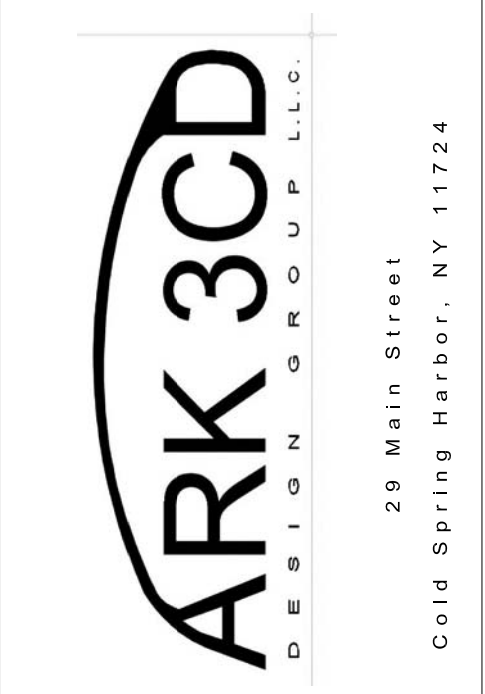
+ ITEM IS GC PROVIDED  
 ELC FINAL CONNECTIONS BY ELECTRICAL CONTRACTOR  
**NOTES:**  
 1. A/E, GC AND PM'S TO CONFIRM ALL EQUIPMENT LOCATIONS AND SPECIFICATIONS PRIOR TO BASEMENT FOUNDATION COMPLETION. EQUIPMENT BRANDS AND MODELS DIFFER IN ELECTRICAL REQUIREMENTS AND OPERATION.  
 2. JLI AND FRANCHISEE HAVE THE OPTION TO ALSO PURCHASE AND INSTALL ALL EQUIPMENT.  
 3. GC MAY BE REQUIRED TO PURCHASE AND HIRE APPROVED EQUIPMENT VENDOR FOR EQUIPMENT INSTALLATION.  
 4. EQUIPMENT INSTALLATION VENDORS MUST BE APPROVED BY JIFFY LUBE INTERNATIONAL.

ISSUED FOR:

DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS

NO.	DATE	DESCRIPTION
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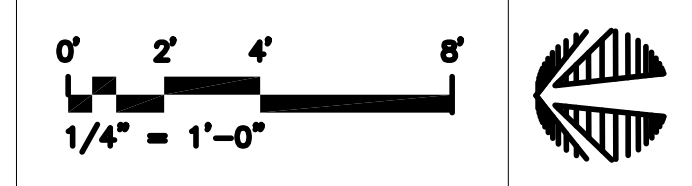
THIS CERTIFIES THAT THESE PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT COMPLY WITH THE LATEST PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE

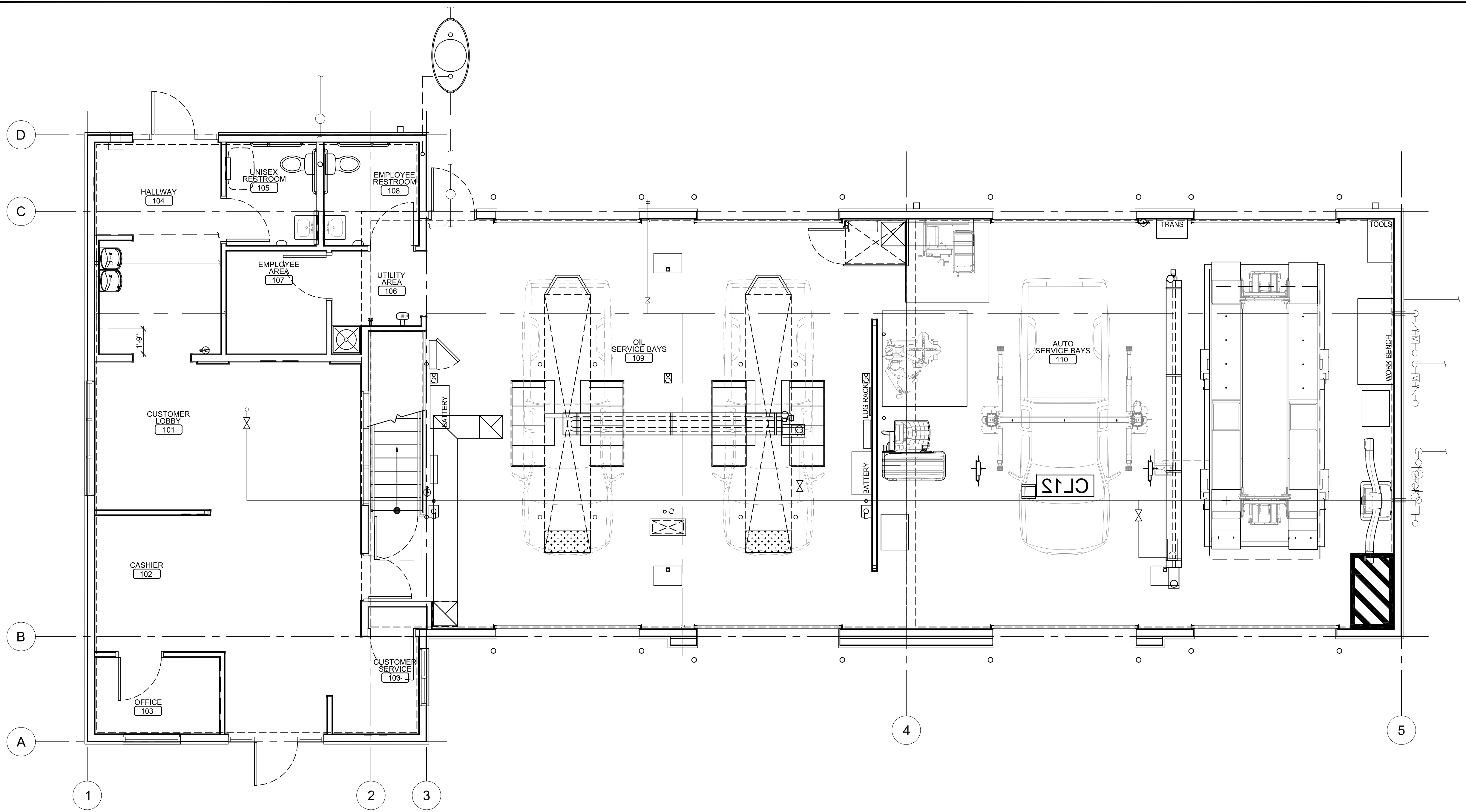
**DRAWING EQUIPMENT PLAN AND SCHEDULES**

PROJECT: **GUGGENHEIM**  
 PROPOSED DEVELOPMENT  
 840 NYS ROUTE 13  
 TOWN OF CORTLANDVILLE  
 CORTLAND COUNTY  
 STATE OF NEW YORK  
 MAP 95-02, BLOCK 2, LOT 7

DATE: 08/10/20  
 PROJECT NO.: 200099  
 DRAWN BY: SBA  
 CHECK BY: CP  
 DWG NO.: A-13.0

SCALE: AS NOTED  
 SHEET NO.: 9 OF 11

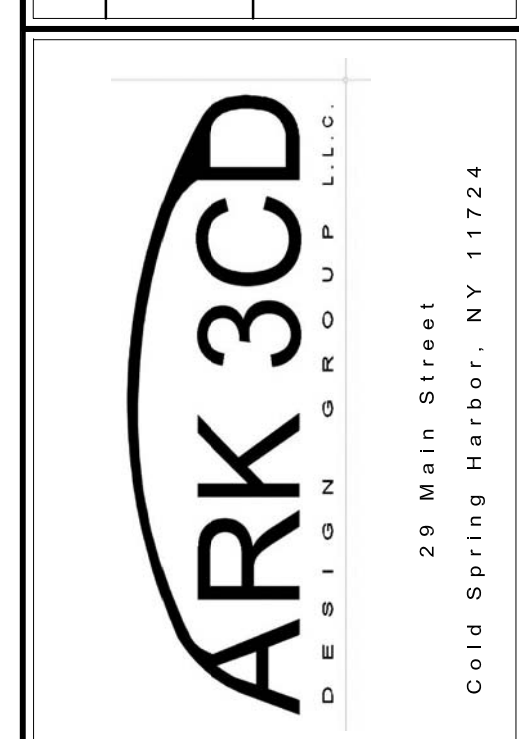




PLUMBING SYMBOLS	
SAN	SANITARY SEWER LINE
OW	OIL WASTE LINE
V	VENT LINE
—	COLD WATER SUPPLY LINE
—	HOT WATER SUPPLY LINE
—	SHUT-OFF VALVE
—	BACKFLOW PREVENTER
M	WATER METER
R	REMOTE READER
V.T.R.	VENT THRU ROOF
F.C.O.	FLOOR CLEAN OUT
W.C.O.	WALL CLEAN OUT
T.P.R.V.	TEMPERATURE PRESSURE RELIEF VALVE
P.O.C.	POINT OF CONNECTION
LAV.	LAVATORY
W.C.	WATER CLOSET
A.F.F.	ABOVE FINISHED FLOOR
B.F.F.	BELOW FINISHED FLOOR
W.H.	WATER HEATER
F.D.	FLOOR DRAIN
T.P.	TRAP PRIMER
S.S.	SERVICE SINK
E.W.S.	EYE WASH STATION
H.B.	HOSE BIB

ISSUED FOR:	
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS		
NO.	DATE	DESCRIPTION

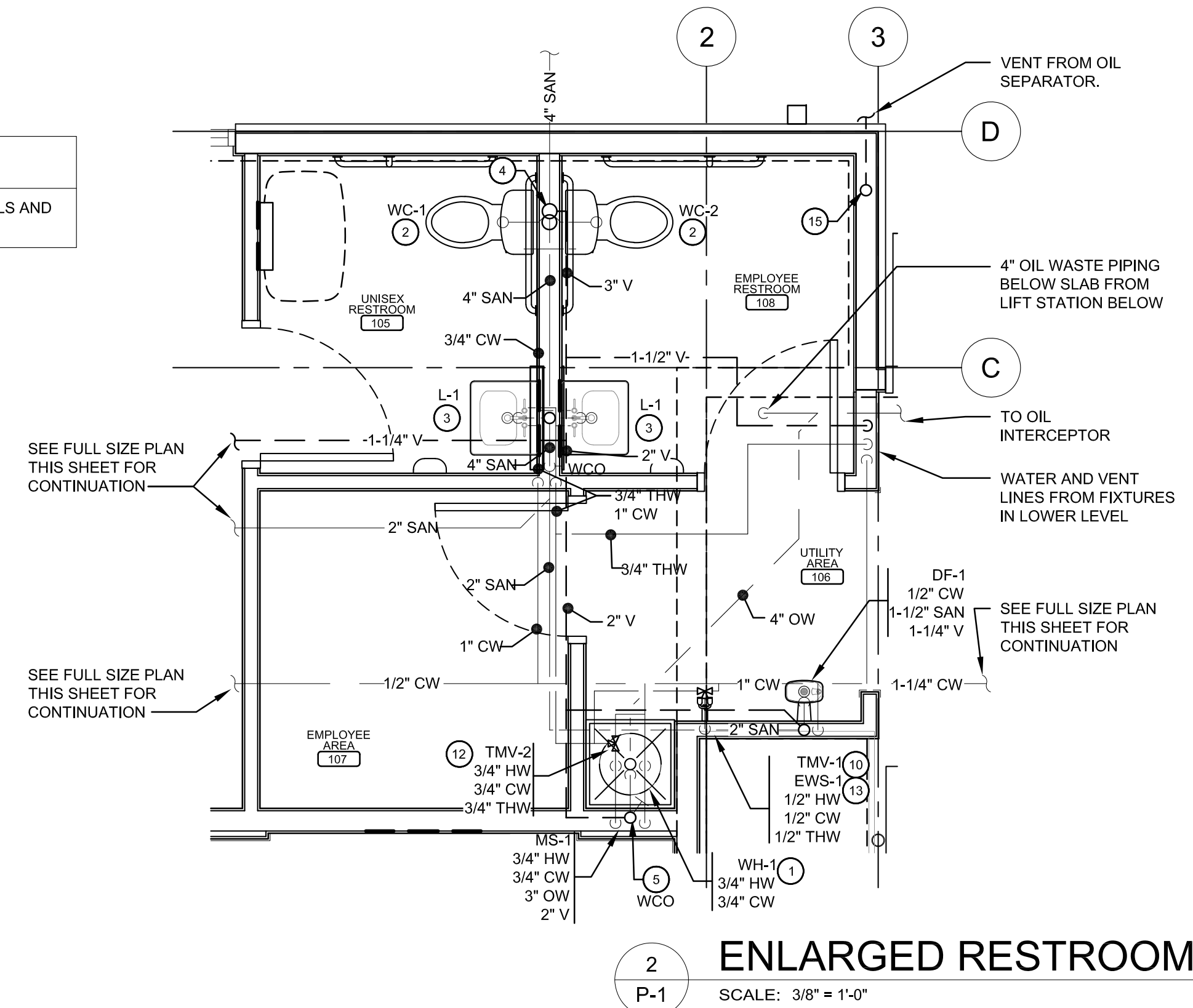


**PLUMBING KEYED NOTES**

- TANK WATER HEATER SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR AT 9'-6" AFF. REFER TO SCHEDULE AND RISER DIAGRAMS FOR ADDITIONAL INFORMATION. COORDINATE WITH ELECTRICAL CONTRACTOR. ROUTE T&P DRAIN LINE TO MOP SINK, TIGHT TO WALL WITH CODE REQUIRED SLOPE.
- HANDICAPPED WATER CLOSET SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR. REFER TO SCHEDULE FOR ADDITIONAL INFORMATION.
- HANDICAPPED LAVATORY SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR. REFER TO SCHEDULE FOR ADDITIONAL INFORMATION.
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL NEW 4" VENT THRU ROOF. TERMINATION OF VENT THRU ROOF TO BE LOCATED A MINIMUM OF 10 FT DISTANCE FROM ANY FRESH AIR INTAKE. FIELD VERIFY CONDITIONS AND LOCATION PRIOR TO INSTALLATION.
- CLEAN OUT PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR. REFER TO SANITARY RISER DIAGRAM AND DETAIL FOR ADDITIONAL INFORMATION. COORDINATE INSTALL HEIGHT WITH SURROUNDING FIXTURES PRIOR TO INSTALLATION. (DO NOT INSTALL SO IT IS ACCESSED IN LOBBY)
- HOSE BIBB SUPPLIED AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY LENGTH OF REQUIRED FREEZE PROOF STEM THRU WALL THE PROVIDE LEAST AMOUNT OF PIPE PENETRATION INTO SERVICE BAYS. REFER TO PLUMBING SCHEDULE FOR FURTHER INFORMATION.
- PROVIDE 1/2" CW SUPPLY PIPING FOR COFFEE STATION AT 18" AFF.
- PLUMBING CONTRACTOR TO EXTEND AND CONNECT NEW 4" SANITARY PIPING TO EXISTING SANITARY MAIN PIPING. FIELD VERIFY EXACT SIZE AND LOCATION.
- PLUMBING CONTRACTOR TO EXTEND AND CONNECT NEW 1-1/4" COLD WATER PIPING TO EXISTING COLD WATER MAIN. FIELD VERIFY EXACT SIZE AND LOCATION.
- HAND HELD EYEWASH SYSTEM MOUNTED ON WALL NEXT TO MOP SINK. REFER TO DETAIL ON SHEET P4 FOR FURTHER INFORMATION.
- NEW WATER METER AND REQUIRED ACCESSORIES SHALL BE INSTALLED IN A PIT OR ABOVE GROUND HOT BOX. COORDINATE LOCATION AND REQUIREMENTS OF WATER METER AND ASSEMBLY ON SITE AND ROUTING OF PIPING WITH CIVIL DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR TO SUPPLY AND INSTALL A THERMOSTATIC MIXING VALVE NEAR WATER HEATER AND SET MAX DISCHARGE TEMPERATURE NOT TO EXCEED 110°F FROM REACHING PLUMBING FIXTURES PER CODE.
- CONTRACTOR TO SUPPLY AND INSTALL A THERMOSTATIC MIXING VALVE AT EYEWASH STATION AND SET MAX DISCHARGE TEMPERATURE NOT TO EXCEED 85°F ASSE 1071.
- WATER PIPING FOR HOSE BIBBS SHALL BE ROUTED TIGHT TO THE INTERIOR FACE OF THE WALL.
- CONTRACTOR SHALL PROVIDE AND INSTALL A ZURN MODEL OMC-300 OIL INTERCEPTOR PER LOCAL AHJ REQUIREMENTS. MINIMUM BASIN SIZE: 300 GALLON STATIC HOLDING CAPACITY AND TRAFFIC RATED COVERS. REFER TO DETAIL ON SHEET P4 AND CIVIL DRAWINGS FOR EXACT LOCATION AND ROUTING OF PIPING OUTSIDE OF BUILDING PRIOR TO START OF FABRICATION OR INSTALLATION.
- 3" UNDERGROUND VENTS UP WALL. EXTEND UP 6" ABOVE FIXTURE RIM LEVEL. COMBINE VENTS, IF NEEDED, INTO (1) 3" VENT TO 4" VTR. OFFSET 36" FROM OUTER WALL PRIOR TO ROOF PENETRATION.
- GAS METER BY UTILITY. CONTRACTOR SHALL VERIFY THAT NEW GAS SERVICE IS REGULATED FOR 7 IN. W.C. AND THE GAS METER HAS A MINIMUM CAPACITY OF ??? CFH. ANY DISCREPANCIES IN THIS INFORMATION SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND/OR PROJECT ENGINEER.
- ROUTE GAS PIPE TIGHT TO WALL AND AS REQUIRED FROM GAS METER. COORDINATE LOCATION OF ROUGH IN AND OR INSTALLATION OF GAS PIPE. GAS PIPING IS SIZED BASED ON 7 IN. W.C PRESSURE AND A 0.5 W.C. PRESSURE DROP PER THE 2012 INTERNATIONAL FUEL GAS CODE, TABLE 402.4(2).
- CONTRACTOR SHALL PROVIDE GAS PRESSURE REGULATOR ON CUSTOMER SIDE OF METER TO SUPPLY BUILDING EQUIPMENT WITH 7" W.C. PRESSURE IF UTILITY COMPANY CAN NOT PROVIDE REQUESTED PRESSURE. REFER TO PRESSURE REGULATOR SCHEDULE FOR SIZING REQUIREMENTS. REFER TO REGULATOR MANUFACTURER'S INSTALLATION INSTRUCTION.
- GAS PIPING SHALL PENETRATE THE ROOF AS NEEDED FOR CONNECTION TO ROOF MOUNTED MECHANICAL EQUIPMENT. COORDINATE ROUTING WITH ALL OTHER DISCIPLINES PRIOR TO INSTALLATION.

**GENERAL NOTES**

SEE SHEET P-3 FOR PLUMBING RISERS, DETAILS AND FIXTURE SCHEDULE.



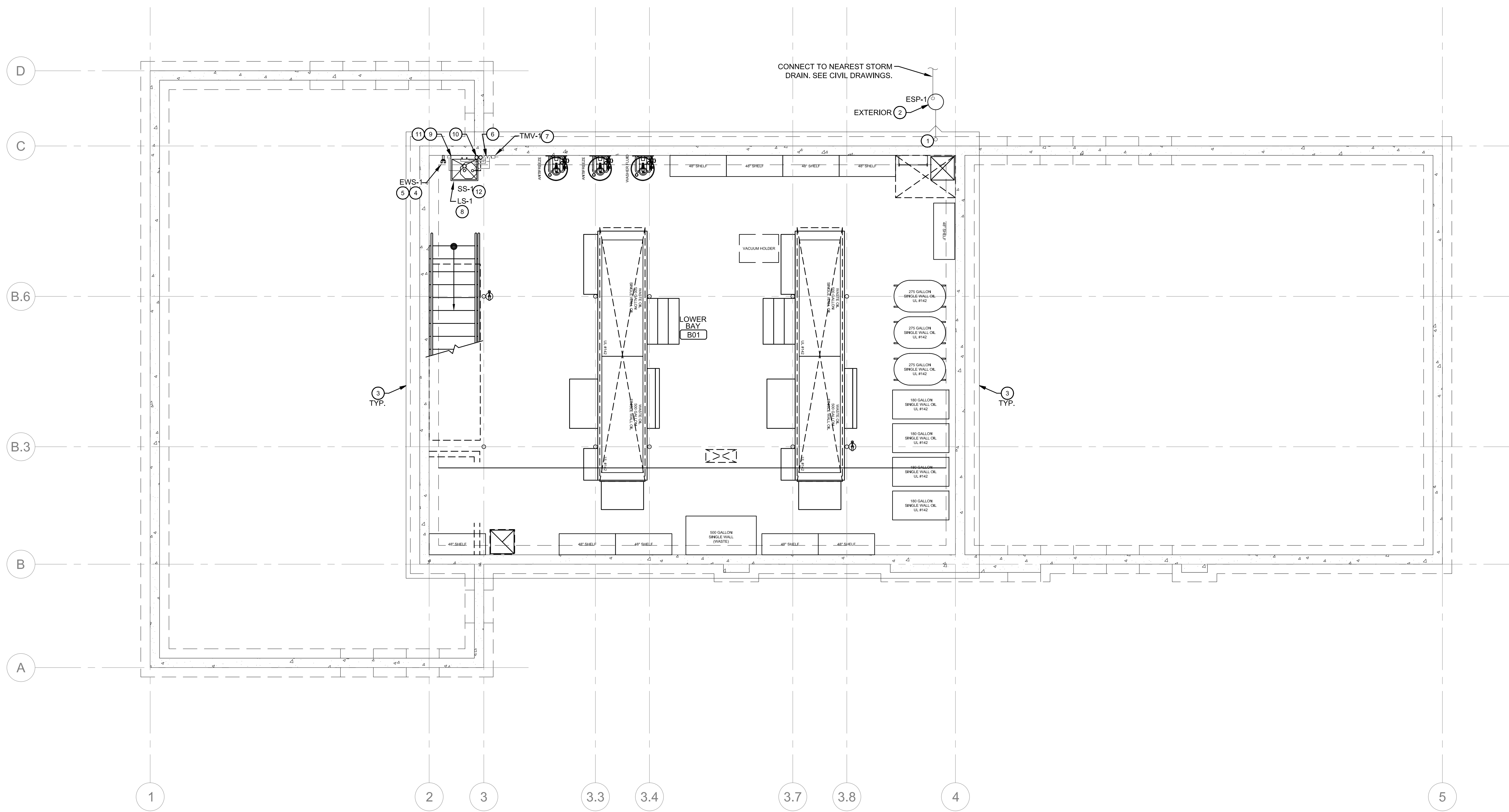
**ENLARGED RESTROOM PLAN**  
SCALE: 3/8" = 1'-0"

THIS CERTIFIES THAT THESE PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT COMPLY WITH THE LATEST PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

**DRAWING PLUMBING PLAN FIRST FLOOR**

PROJECT: **GUGGENHEIM**  
PROPOSED DEVELOPMENT  
840 NYS ROUTE 13  
TOWN OF CORTLANDVILLE  
CORTLAND COUNTY  
STATE OF NEW YORK  
MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	P-01.0
SCALE	AS NOTED
SHT. NO.	10 OF 11

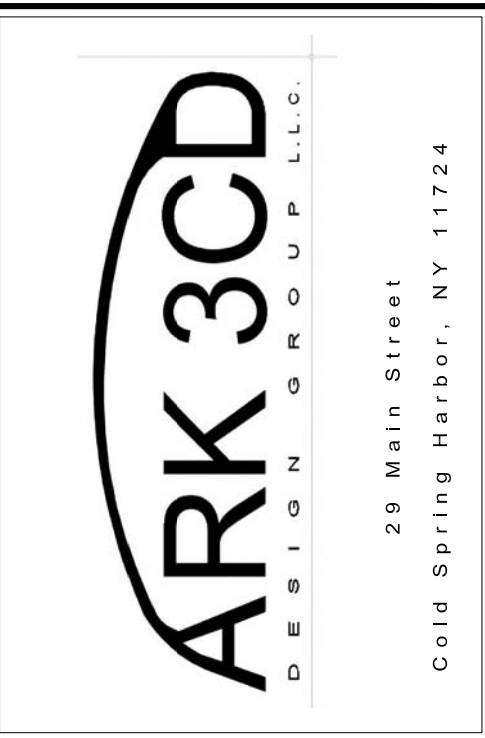


1 PLUMBING PLAN - LOWER BAY  
 SCALE: 1/4" = 1'-0"

- # PLUMBING KEYED NOTES
- EXTERIOR CLEAN OUT PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR. REFER TO SCHEDULE AND DETAIL FOR ADDITIONAL INFORMATION.
  - EXTERIOR SUMP PUMP SYSTEM IN FIBERGLASS SUMP BASIN SUPPLIED AND INSTALLED BY CONTRACTOR. REFER TO PLUMBING SCHEDULE AND DETAILS FOR FURTHER INFORMATION. FIELD COORDINATE EXACT LOCATION PRIOR TO INSTALLATION.
  - 4" PERFORATED FOUNDATION DRAIN. DRAIN TO BE SLOPED TO EXTERIOR SUMP PUMP SYSTEM. PUMP TO DISCHARGE TO NEAREST STORM DRAIN. COORDINATE WITH CIVIL DRAWINGS.
  - EYEWASH STATION SUPPLIED AND INSTALLED BY CONTRACTOR. PROVIDE 1/2" INSULATED WATER LINE TO FIXTURE FROM MIXING VALVE. MOUNT EYEWASH AT 41" A.F.F. TO THE CENTER LINE OF THE SPOUT. REFER TO PLUMBING SCHEDULE FOR FURTHER INFORMATION.
  - EYEWASH DRAIN PIPE SHALL BE CONNECTED FULL SIZE OF FIXTURE TO SERVICE SINK DRAIN TAIL PIECE PRIOR TO THE P-TRAP AND OR LIFT STATION.
  - COLD AND HOT WATER SUPPLY PIPING FROM ABOVE TO SERVICE EYEWASH AND SERVICE SINK. FIELD VERIFY EXACT LOCATIONS. REFER TO PLUMBING ISOMETRICS ON SHEET P-3 FOR ADDITIONAL INFORMATION. ALL WATER PIPING SHALL BE INSULATED PER CODE.
  - CONTRACTOR TO SUPPLY AND INSTALL A THERMOSTATIC MIXING VALVE AT EYEWASH STATION AND SET MAX DISCHARGE TEMPERATURE NOT TO EXCEED 85° F PER ASSE 1071.
  - ABOVE GROUND LIFT STATION LOCATED UNDER SERVICE SINK. CONTRACTOR SHALL COORDINATE INSTALLATION AND ROUTING OF WATER AND OIL WASTE PIPING IN FIELD PRIOR TO INSTALLATION.
  - ALL SANITARY PIPING SHALL BE PRESSURE RATED.
  - CONTRACTOR SHALL FIELD COORDINATE ROUTING TO AND PENETRATION OF WATER AND VENT PIPING THRU SLAB ABOVE AND INTO CHASE WALL. REFER TO SHEET P-1 FOR CONTINUATION.
  - SANITARY LINE FROM LIFT STATION SHALL BE CONNECTED TO SANITARY LINE TIGHT TO UNDERSIDE OF SLAB ABOVE. REFER TO SHEET P-1 FOR CONTINUATION.
  - EXTEND VENT LINE FROM SERVICE SINK LIFT STATION THRU UPPER LEVEL FLOOR AND CONNECT TO VENT LINES FROM UPPER FLOOR SERVICE BAY PLUMBING. FIELD VERIFY ROUTING AND LOCATION PRIOR TO INSTALLATION.

ISSUED FOR:	
DATE	DESCRIPTION
08/10/20	FOR REVIEW

REVISIONS		
NO.	DATE	DESCRIPTION



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DRAWING  
 PLUMBING PLAN  
 LOWER BAY

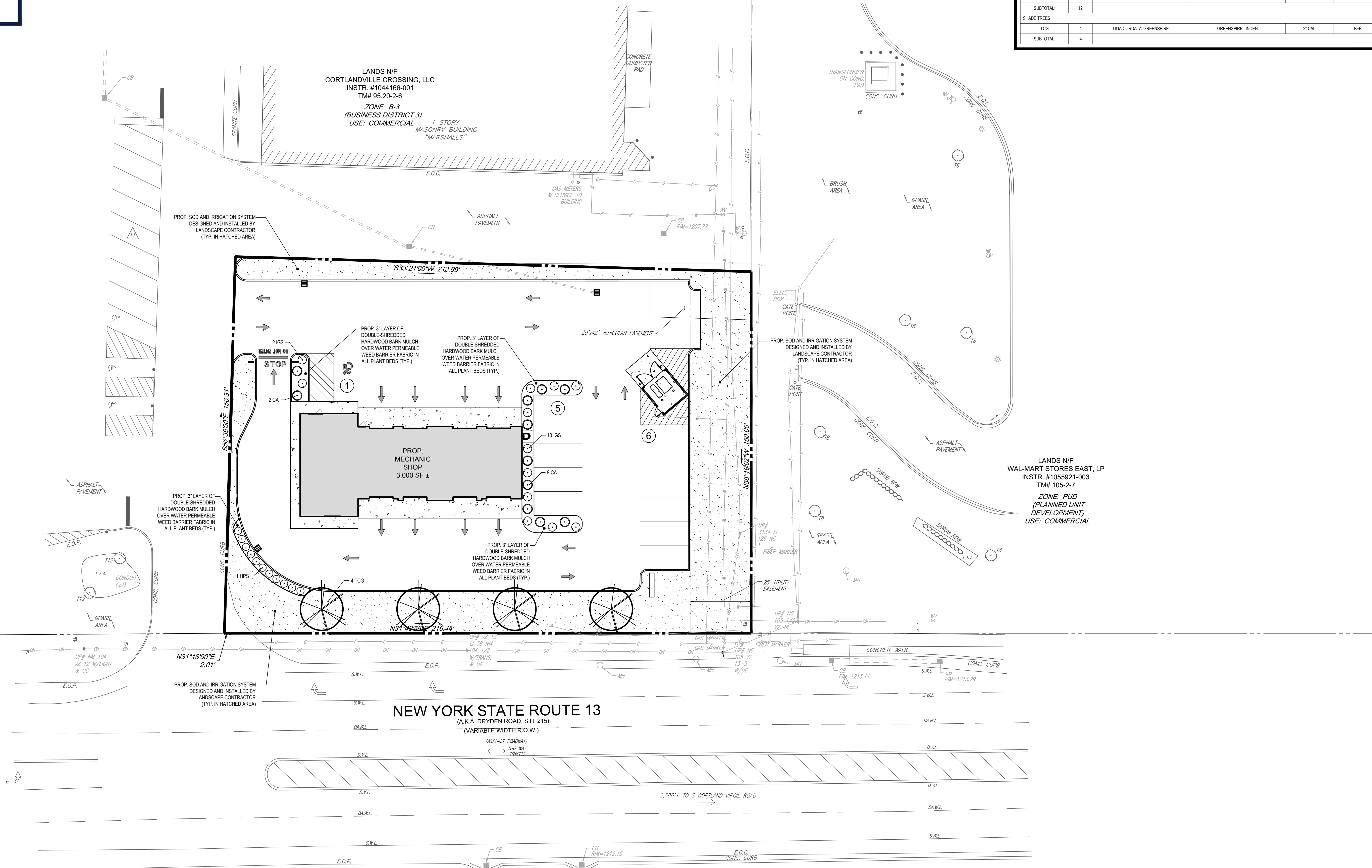
PROJECT:  
**GUGGENHEIM**  
 PROPOSED  
 DEVELOPMENT  
 840 NYS ROUTE 13  
 TOWN OF CORTLANDVILLE  
 CORTLAND COUNTY  
 STATE OF NEW YORK  
 MAP 95-02, BLOCK 2, LOT 7

DATE	08/10/20
PROJECT NO.	200099
DRAWN BY	SBA
CHECK BY	CP
DWG NO.	P-02.0
SCALE	AS NOTED
SHT. NO.	11 OF 11





LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
DECIDUOUS SHRUBS					
CA	11	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	CONTAINER
HPS	11	HYPERICUM PATULUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24"	CONTAINER
SUBTOTAL:					22
EVERGREEN SHRUBS					
IGS	12	ILEX GLABRA 'SHAMROCK'	SHAMROCK INBERRY HOLLY	24-30"	B+B
SUBTOTAL:					12
SHADE TREES					
TCG	4	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL.	B+B
SUBTOTAL:					4



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 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	06/16/20	PER CLIENT COMMENT	CVM	CVM
2	07/10/20	PER TOWN COMMENT	CVM	CVM
3	07/20/20	DOT STAGE 1	MDL	MDL
4	8/14/20	LANDSCAPE PLAN	MDL	MDL

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 It's fast. It's free. It's the law.

**FOR CONCEPT PURPOSES ONLY**

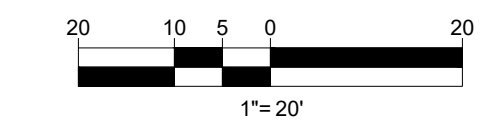
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 DRAWN BY: - NCN / MDL -  
 CHECKED BY: - CVM / CEB -  
 DATE: 05/20/2020  
 CAD ID: B200120S500

PROJECT:  
**PROPOSED SITE PLAN DOCUMENTS**  
 FOR  
**GUGGENHEIM**  
 PROPOSED DEVELOPMENT  
 840 NYS ROUTE 13  
 TOWN OF CORTLANDVILLE  
 CORTLAND COUNTY  
 STATE OF NEW YORK  
 MAP 95.02, BLOCK 2, LOT 7

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 70 LINDEN OAKS,  
 THIRD FLOOR, SUIT 15  
 ROCHESTER, NY 14625  
 Phone: (585) 866-1100  
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SHEET TITLE:  
**LANDSCAPE PLAN**  
 SHEET NUMBER:  
**C-701**  
 REVISION 4 - 08/14/2020



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