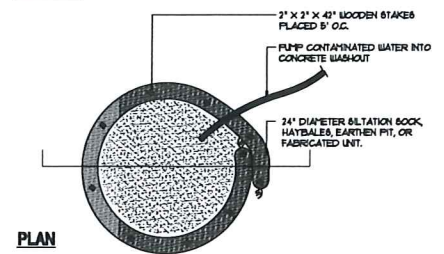


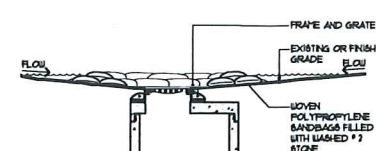
SECTION



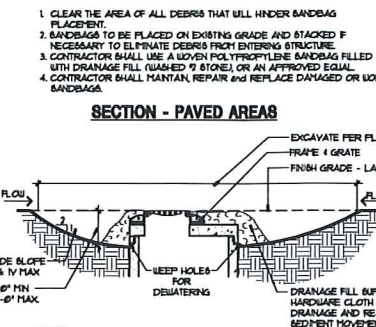
PLAN

- NOTES:
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 - ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA SUCH AS GRASS FILTER STRIP.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
 - DISPOSE OF HARDENED MATERIAL OFF SITE IN A CONSTRUCTION/DEMOLITION FILL LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE BIDDING. IN THE CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
 - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF WASHOUT FACILITY.
 - INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

2 CONCRETE WASHOUT
L10 NOT TO SCALE 81-001-10



SECTION - PAVED AREAS



SECTION - UNPAVED AREAS

- NOTES:
- CLEAR THE AREA OF ALL DEBRIS THAT WILL UNDER EXCAVATION.
 - GRADE APPROACH TO THE INLET UNFORMLY AROUND THE BASIN.
 - SEEP HOLES SHALL BE PROTECTED BY DRAINAGE FILL (GRAVEL).
 - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL SEEP HOLES, FILL BASIN WITH STABLE SOIL, TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
 - MINIMUM DRAINAGE AREA 1 ACRE.
 - CONTRACTOR MAY UTILIZE ANY APPROPRIATE STORM DRAIN INLET MEASURE WHICH COMPLIES WITH NYS STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL. REFER TO SUPPLY SECTION 1 FOR NYS STANDARDS & SPECIFICATIONS FOR STORM DRAIN INLET PROTECTION.
 - AFTER TOPSOIL AND FINE GRADING, CONTRACTOR SHALL PLACE 10' x 10' SQUARE OF SOIL AROUND STRUCTURE.

1 DRAINAGE STRUCTURE PROTECTION
L10 NOT TO SCALE 81-001-08

EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES

- CLL CONTRACT LIMIT LINE
- ASPHALT PAVEMENT REMOVAL
- CONCRETE PAVEMENT REMOVAL
- SAWCUT PAVEMENT IN NEAT, STRAIGHT LINE.
 - REMOVE ASPHALT PAVEMENT AND DISPOSE OF MATERIALS OFF SITE.
 - EXISTING OVER-HEAD ELECTRICAL SERVICE & UTILITY POLES TO BE RELOCATED BY NATIONAL GRID.
 - STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE.
 - BLACKOUT EXISTING PAINT LINES NECESSARY TO PROVIDE A 26' MIN. DRIVE ISLE.
 - REMOVE EXISTING GRAVEL AND DISPOSE OF OFF SITE.
 - REMOVE EXISTING VEGETATION IN ITS ENTIRETY, INCLUDING ROOTS AND STUMPS, DISPOSE OF OFF SITE.
 - REMOVE EXISTING LIGHT POLE IN ITS ENTIRETY, INCLUDING FOOTINGS AND DISPOSE OF OFF SITE.

INFILTRATION TEST DATA

TEST #	RESULTS
IT# 1	12 IN/HR
IT# 2	60 IN/HR
IT# 3	30 IN/HR

TEST #	WATER DEPTH	MOTTILING	RESTRICTIVE LAYER
DH #1	12"	NO	NO
DH #2	84"	NO	NO

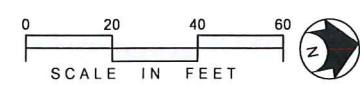
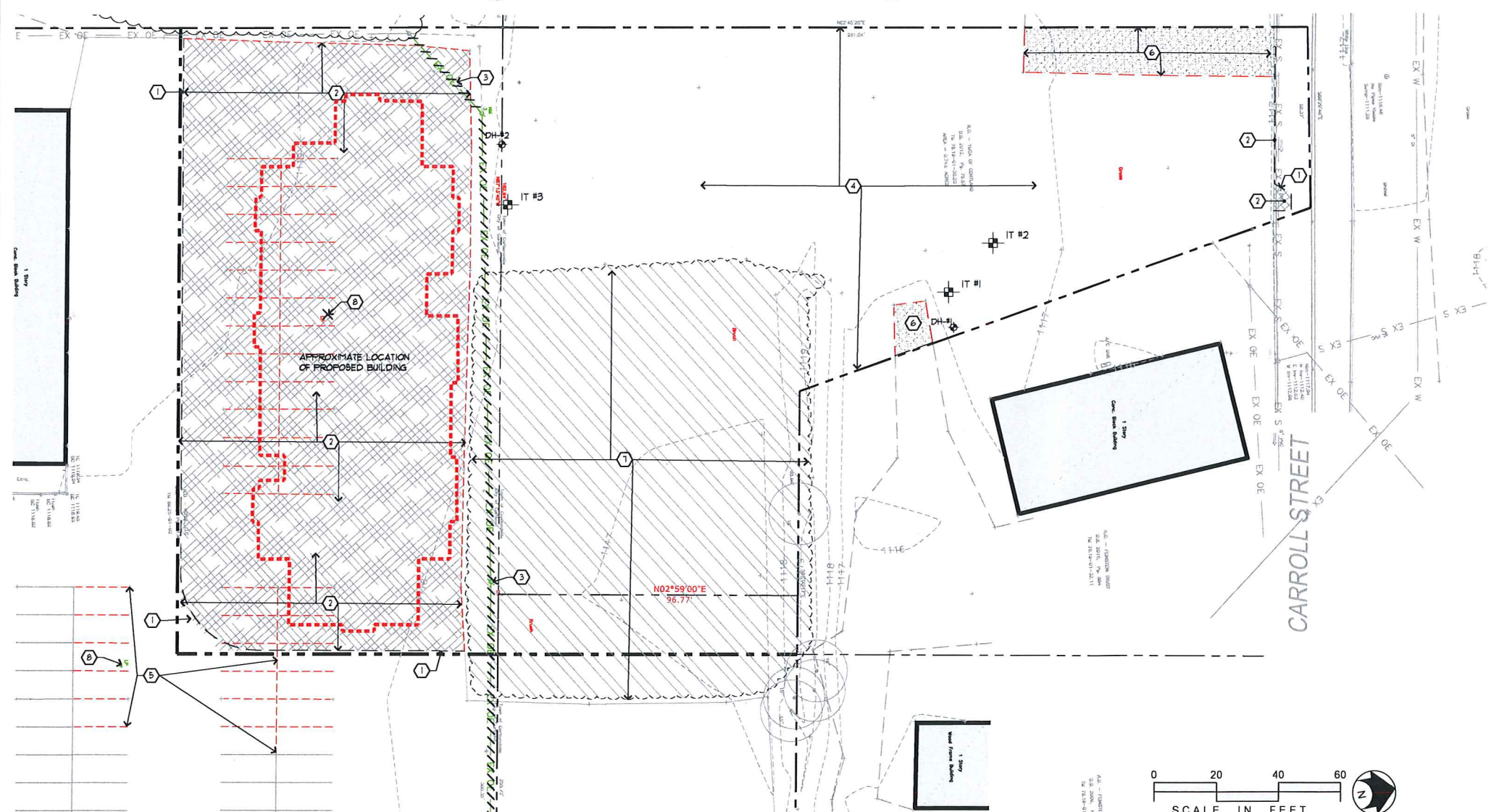
0'-12" CLAY TOPSOIL
 12"-42" GRAVELLY LOAM WITH COBBLES
 42"-72" SAND WITH COBBLES
 0'-12" TOPSOIL
 12"-84" GRAY SAND

GENERAL NOTES

- TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY C.T. MALE ASSOCIATES D.P.C., SYRACUSE, NY, DATED AUGUST 14, 2011.
- OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.
- SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR RESEEDING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.
- ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.
- PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.
- ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
- THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.
- ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.
- ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOVED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - -	- - -	CONTOUR
+377.7	□	SPOT ELEVATION
CT/CE	▭	CURB TAPER/END
TC/BC	▭	TOP/BOTTOM OF CURB
HP/LP	▭	HIGH / LOW POINT
TP-1	⊕	TEST PIT
B-1	⊕	BORING (SEE SPECIFICATIONS FOR BORING INFO)
—	—	FENCE
—	—	UTILITY POLE
—	—	WATER LINE
—	—	FIRE HYDRANT
—	—	4" FM FORCE MAIN SANITARY LINE
—	—	STORM PIPE
—	—	UNDERDRAIN
—	—	SANITARY PIPE
—	—	OVER-HEAD ELECTRIC
—	—	UNDERGROUND ELECTRIC
—	—	TELEPHONE
—	—	FORCE MAIN MANHOLE
—	—	STORM STRUCTURE
—	—	DRYWELL
—	—	INLET
—	—	CATCH BASIN/MANHOLE
—	—	CLEAN OUT
—	—	SANITARY MANHOLE
—	—	ASPHALT PAVEMENT-PARKING
—	—	CONCRETE PAVEMENT
—	—	TRAFFIC SIGN
—	—	CURB
—	—	CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
—	—	BILT FENCE
—	—	ATHLETIC FIELD TURF OR BOD
—	—	TREE
—	—	SHRUB
—	—	PLANT KEY
—	—	VEGETATION



STAMP

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PRELIMINARY
 NOT FOR
 CONSTRUCTION

REV NO.	DATE	DRAWN BY	DESCRIPTION
1	9/19/17	MDL	CORTLANDVILLE PB SUBMISSION
2	7/21/18	MDL	BUILDING FOOTPRINT UPDATE
3	6/7/18	MDL	PLAYGROUND UPDATE

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PROJECT NORTH

JOB NO: 37051
 DATE: 8/30/2017
 DRAWN BY: MDL
 REVIEW BY: ECK
 SCALE: AS SHOWN

THE GRACE BROWN HOUSE
 FOR THE CORTLAND YWCA
 1318 CARROLL STREET, CORTLAND, NEW YORK

HOLMES & KING - KALLQUIST & Associates, Architects, LLP
 575 NORTH SALINA STREET, SYRACUSE, NY 13208
 PH: (315) 476-8371 FAX: (315) 476-5420
 www.hkarchitects.com

SITE PREPARATION PLAN

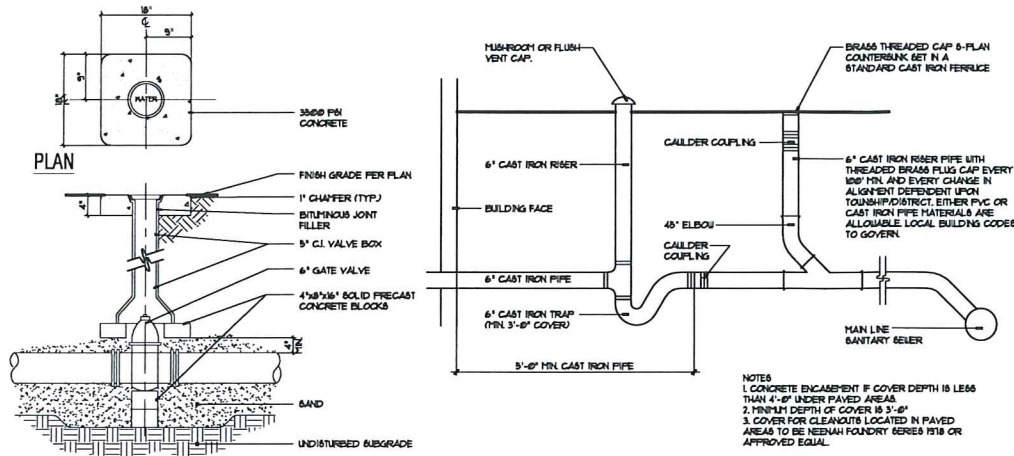
L1.0

GRADING, DRAINAGE & UTILITY GENERAL NOTES

1. ANY/FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOULED TO FOUNDATION WALL PER DETAIL 6.

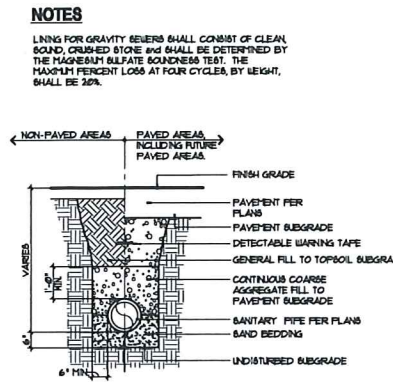
GRADING, DRAINAGE & UTILITY NOTES

1. MEET EXISTING LINE AND GRADE.
2. INSTALL WYE CONNECTION INTO EXISTING SANITARY LATERAL. PROVIDE WATER TIGHT SEAL. FIELD VERIFY INVERTS PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3. INSTALL KENNEDY K-81 HYDRANT (HYD) WITH (2) 2-1/2" (1) 4" CONNECTION PER DETAIL 8/L.6.0.
4. COORDINATE WATER CONNECTION WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION. DIRECTIONAL BORE UNDER CARROLL STREET REQUIRED PER TOWN OF CORTLANDVILLE HIGHWAY SUPERINTENDENT, CONTACT CARL BUSH AT 315-156-8741.
5. COORDINATE PROPOSED OVER-HEAD UTILITY CONNECTION AND PROPOSED UTILITY POLE WITH NATIONAL GRID PRIOR TO CONSTRUCTION.
6. INSTALL UNDERDRAIN PER DETAIL 7/L.2.0.
7. INSTALL COMMERCIAL SERVICE TRAP PER DETAIL 6/L.2.0.
8. PROVIDE WATER LINE SEPARATION PER DETAIL 3/L.2.0.
9. PROVIDE THRUST BLOCK (TB) AT ALL PIPE BENDS PER DETAIL 9/L.6.0.
10. PROVIDE NEW GATE VALVE (WV) PER DETAIL 7/L.2.0.
11. PROVIDE SANITARY SEWER PIPE BEDDING PER DETAIL 5/L.2.0.

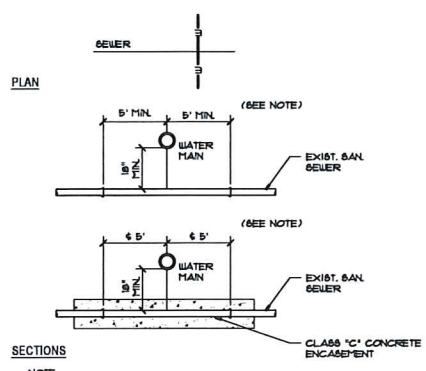


7 GATE VALVE
L2.0 NOT TO SCALE 33-1218-04

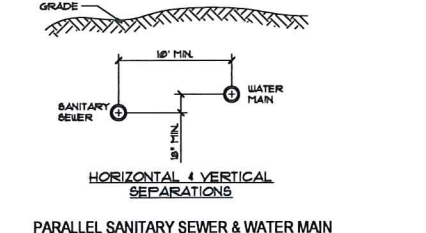
6 COMMERCIAL SERVICE TRAP and VENT (IN LAWN AREAS)
L2.0 NOT TO SCALE 33-3919-02B



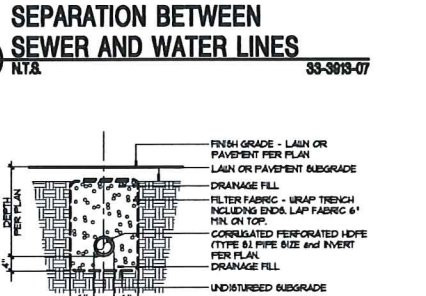
5 SANITARY SEWER PIPE BEDDING
L2.0 NOT TO SCALE 33-3919-12A



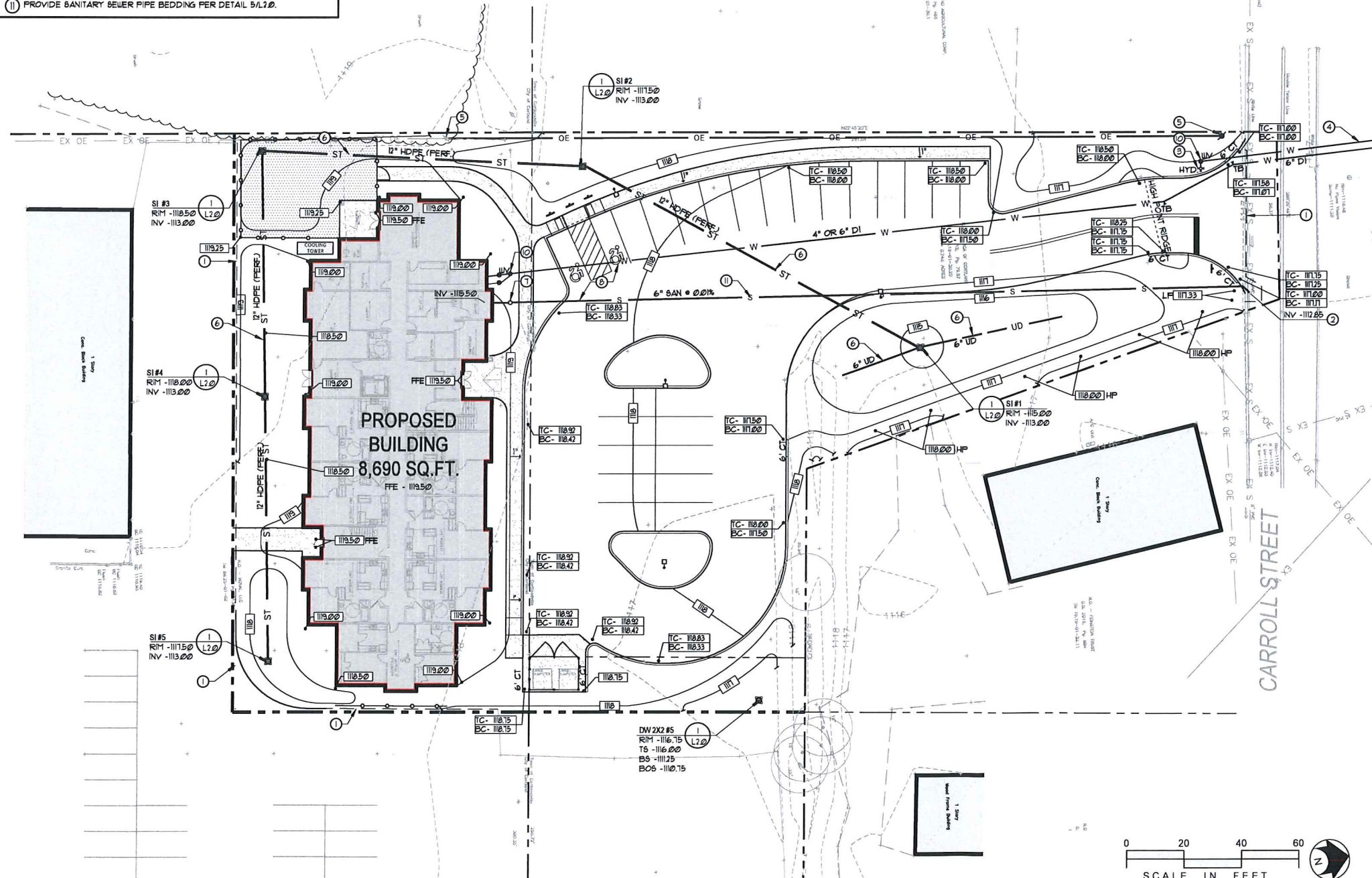
3 SEPARATION BETWEEN SEWER AND WATER LINES
L2.0 N/A 33-3919-07



2 PERFORATED STORM PIPE OR UNDERDRAIN (UD)
L2.0 NOT TO SCALE 33-4000-01



1 STORM INLET (SI)
L2.0 NOT TO SCALE 33-4000-01A



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PRELIMINARY NOT FOR CONSTRUCTION

REV. NO.	DATE	DESIGNED BY	DESCRIPTION
1	8/19/17	MDL	CORTLANDVILLE PS SUBMISSION
2	7/31/18	MDL	BUILDING FOOTPRINT UPDATE
3	8/17/18	MDL	PLAYGROUND UPDATE

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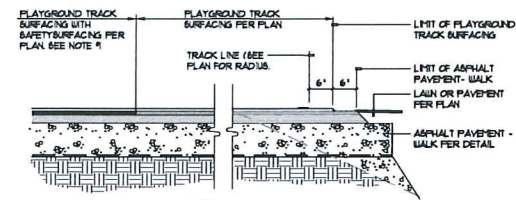
JOB NO: 37051
DATE: 8/30/2017
DRAWN BY: MDL
REVIEW BY: EGK
SCALE: AS SHOWN

THE GRACE BROWN HOUSE
FOR THE CORTLAND YWCA
1318 CARROLL STREET, CORTLAND, NEW YORK

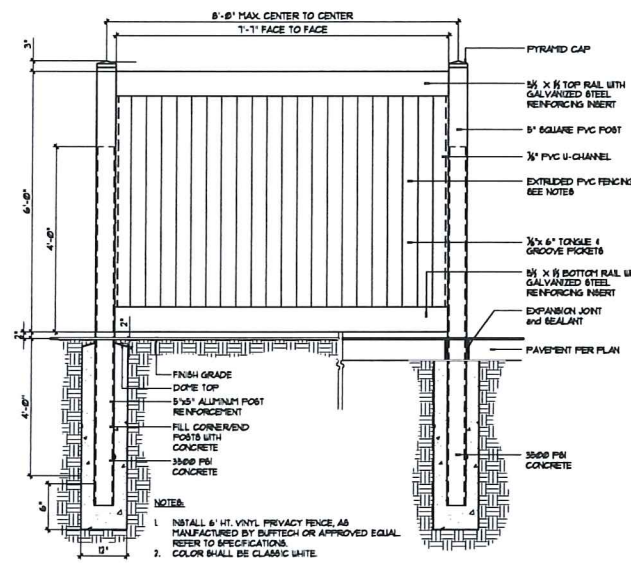
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SITE GRADING, DRAINAGE & UTILITY PLAN

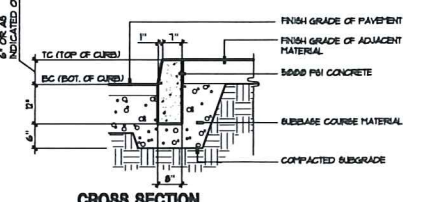
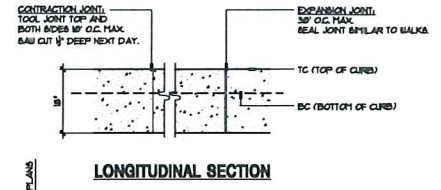
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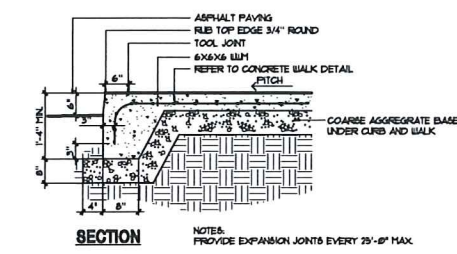
SECTION 6
PLAYGROUND TRACK/SAFETY SURFACING
L3.0 NOT TO SCALE 22-4020-00



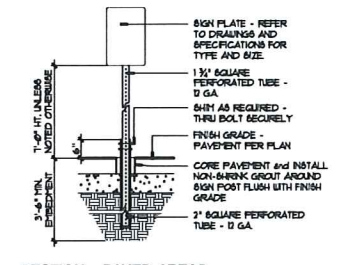
ELEVATION 5
6' HT. PRIVACY PVC FENCE
L3.0 NOT TO SCALE 22-9123-02



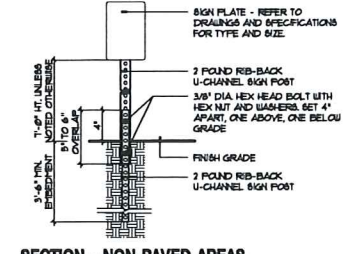
CROSS SECTION 4
CONCRETE CURB - SLIPFORM
L3.0 NOT TO SCALE 22-9123-000



SECTION 3
CONCRETE CURB - INTEGRAL
L3.0 NOT TO SCALE 22-9123-005



SECTION - PAVED AREAS



SECTION - NON-PAVED AREAS

2 TRAFFIC CONTROL SIGN
L3.0 NOT TO SCALE 22-4000-01

ZONING DATA CITY OF CORTLAND

ZONE: GENERAL BUSINESS DISTRICT

MINIMUM LOT SIZE: 10,000 SQ.FT., ACTUAL LOT SIZE 125 ACRES

MINIMUM LOT WIDTH: 100 FT.

LOT COVERAGE:

EXISTING: 0 PERCENT (125 ACRES/0 SQ. FT.)

PROPOSED: 51 PERCENT (125 ACRES/78,384 SQ. FT.)

BUILDING HEIGHT: NONE

PROPOSED: 3 STORY, 31'-6"

FRONT YARD SETBACK: 40' (WITH 5' LANDSCAPE BUFFER) 276'

SIDE YARD SETBACK: 1' (4' EACH FT. ABOVE 35', UP TO 25') 42'-6" (EAST) 17'-9" (WEST)

REAR YARD SETBACK: 20' 24'

PARKING REQUIREMENTS:

STALL SIZE: 20'-0" X 10'-0", DRIVE AISLE 36' WIDTH

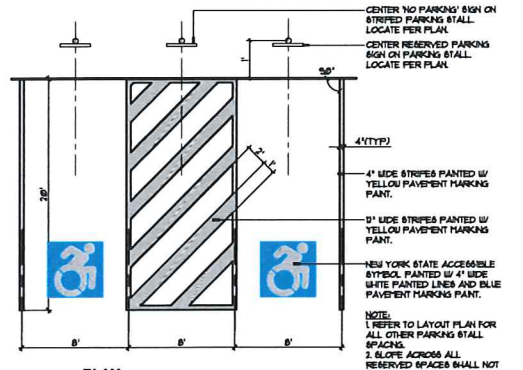
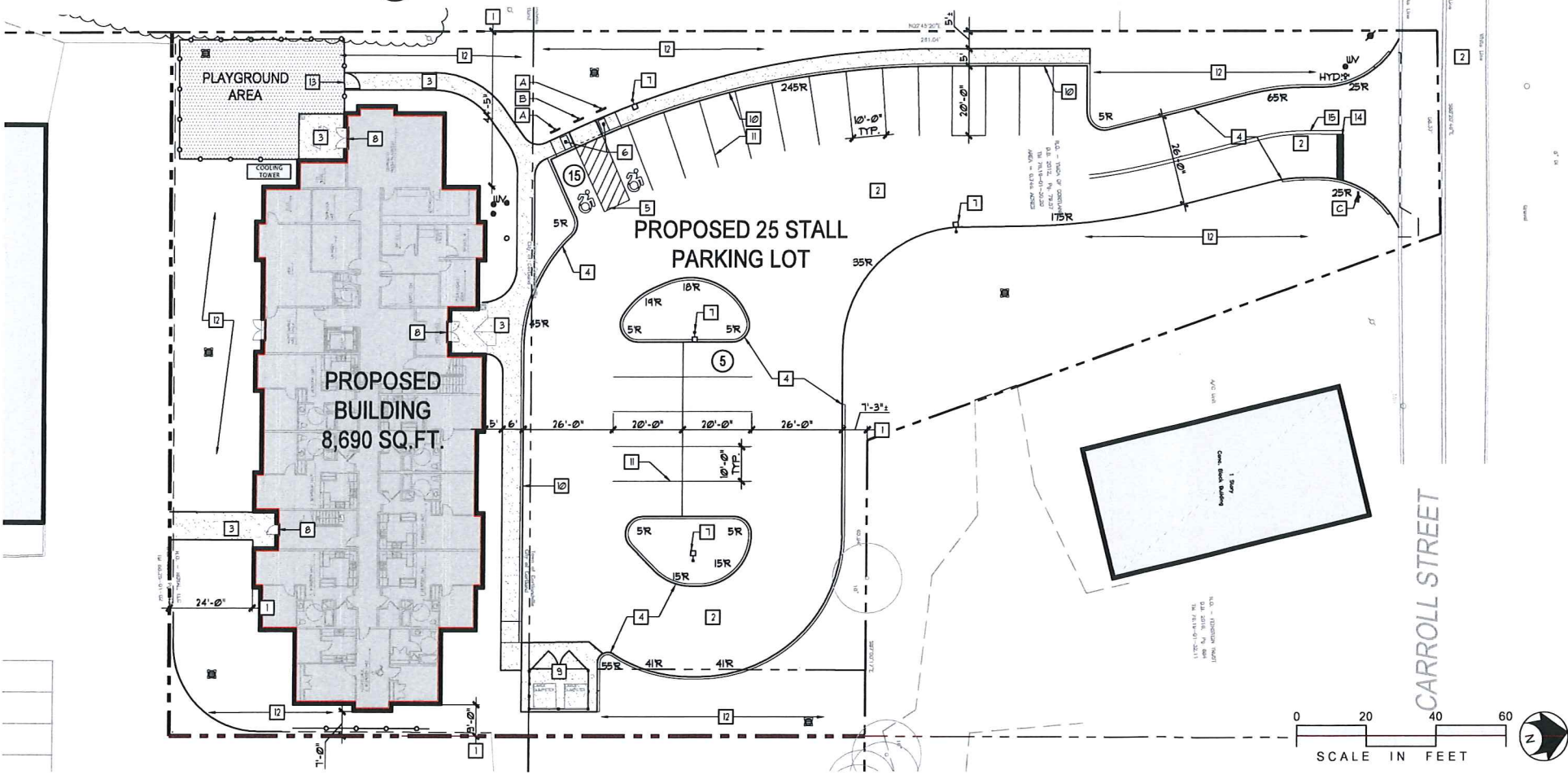
PROPOSED PARKING COUNT: 25 PARKING SPACES (2 HANDICAP)

SIGN SCHEDULE

KEY	SIGN PLATE	SIGN SIZE / MOUNTING HT.	N.Y.S.D.O.T. M.U.T.C.D. NO. / COMMENTS
A	RESERVED PARKING W/ ACCESSIBLE SYMBOL	12' X 18' 7'-0" HT.	SIGN NO. F4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT / BORDER. COMMENTS:
B	NO PARKING ANY TIME	12' X 18' 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER.
C	STOP SIGN	30' X 30' 7'-0" HT.	SIGN NO. R1-1 COLORS: - COMMENTS:

NOTES:
1. REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.
2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT N.Y.S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

- LAYOUT NOTES**
- P.O.B # - BUILDING LAYOUT BASELINE, DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO THE BUILDING.
 - INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 11.6.0.
 - INSTALL CONCRETE PAVEMENT PER DETAIL 21.6.0.
 - INSTALL CONCRETE CURB-SLIPFORM PER DETAIL 41.3.0.
 - RESERVED PARKING STALL MARKING PER DETAIL 11.3.0.
 - INSTALL CURB RAMP - TYPE 2 PER DETAIL 61.6.0.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL DRAWINGS.
 - CONCRETE DOUELS @ DOORWAY PER DETAIL 11.6.0.
 - INSTALL WASTE/RECYCLING ENCLOSURE PER DETAIL 101.6.0.
 - INSTALL CONCRETE CURB-INTEGRAL PER DETAIL 31.3.0.
 - INSTALL 4" WIDE PAINTED WHITE LINES, (TYP.).
 - SEEDED LAWN PER DETAIL 11.4.0.
 - INSTALL 6' HT. PRIVACY PVC FENCE PER DETAIL 51.3.0.
 - INSTALL 2' WIDE PAINTED WHITE STOP BAR.
 - INSTALL (2) 4" WIDE PAINTED YELLOW LINES.
 - INSTALL PLAYGROUND SAFETY SURFACING PER DETAIL 61.3.0.



PLAN 1
RESERVED PARKING STALL
L3.0 NOT TO SCALE 22-1723-01

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PRELIMINARY
NOT FOR
CONSTRUCTION

REV. NO. DATE: DRAWN BY: DESCRIPTION:

1	9/19/17	MDL	CORTLANDVILLE PB SUBMISSION
2	10/1/18	MDL	BUILDING FOOTPRINT UPDATE
3	9/17/18	MDL	PLAYGROUND UPDATE

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PROJECT NORTH

JOB NO: 37051
DATE: 8/30/2017
DRAWN BY: MDL
REVIEW BY: EKG
SCALE: AS SHOWN

THE GRACE BROWN HOUSE
FOR THE CORTLAND YWCA
1318 CARROLL STREET, CORTLAND, NEW YORK

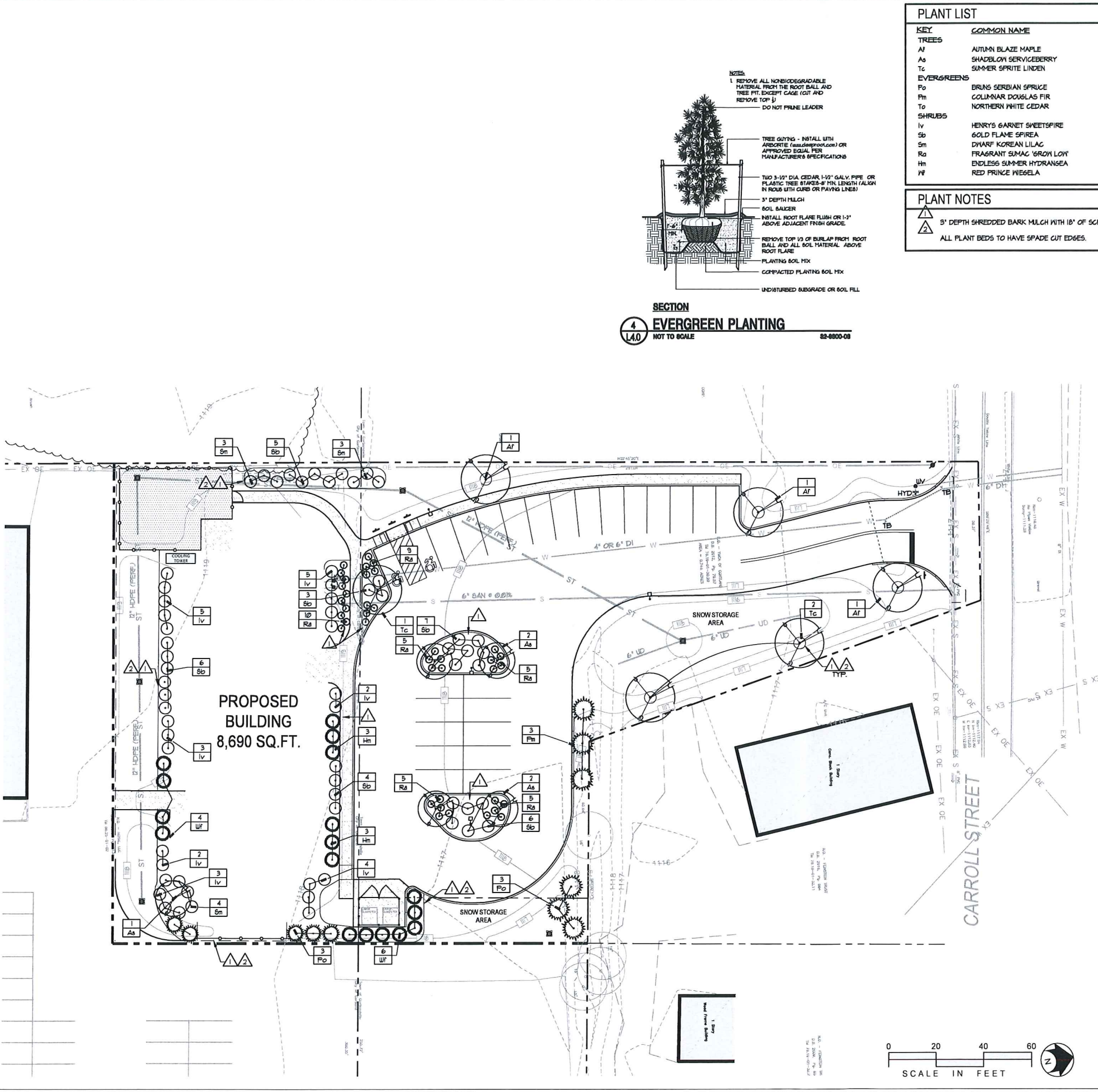
HOLMES • KING • KALLQUIST & Associates, Architects, LLP
575 NORTH SALINA STREET, SYRACUSE, NY 13208
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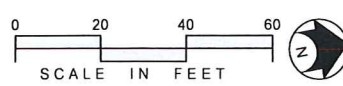
SITE LAYOUT PLAN

L3.0

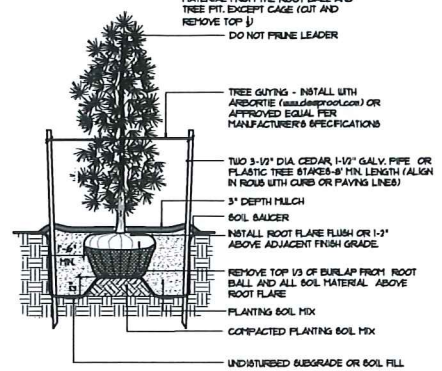
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PROPOSED BUILDING
8,690 SQ.FT.



SECTION 4
EVERGREEN PLANTING
NOT TO SCALE 82-8300-08



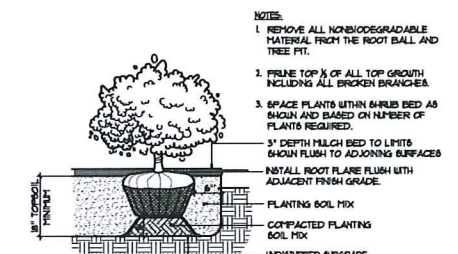
KEY	COMMON NAME	BOTANICAL NAME	GALIFER	HEIGHT	CONDITION	NOTE
TREES						
Af	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFSRED'	2.5' GAL.	-	B1B	-
As	SHADELOW SERVICEBERRY	AMELANCHIER CANADENSIS	2.5' GAL.	-	B1B	TREE FORM
Tc	SUMMER SPRITE LINDEN	TILIA CORDATA 'HALKA'	2.5' GAL.	-	B1B	-
EVERGREENS						
Po	BRING SERBIAN SPRUCE	PICEA OMORICA 'BRING'	-	7'-8'	B1B	-
Fm	COLUMNAR DOUGLAS FIR	PSEUDOTSUGA MENZIESII 'FASTIGIATA'	-	7'-8'	B1B	-
To	NORTHERN WHITE CEDAR	THUJA OCCIDENTALIS 'FASTIGIATA'	-	6'-7'	B1B	-
SHRUBS						
Iv	HENRY'S GARNET SWEETSPICE	ITEA VIRGINICA 'HENRY'S GARNET'	-	10'-24'	-	-
Sb	GOLD FLAME SPIREA	SPIREA ELMALDA 'GOLD FLAME'	-	10'-24'	-	-
Sm	DWARF KOREAN LILAC	SYRINGA MEYERI	-	3 GAL.	-	-
Ra	FRAGRANT SUMAC 'GROWN LOW'	Rhus AROMATICA	#3	-	B1B	-
Hh	ENDLESS SUMMER HYDRANSEA	HYDRANSEA MACROPHYLLA 'ENDLESS SUMMER'	-	-	-	#3 CONT.
Wf	RED PRINCE WIGELA	WEIGELA FLORIDA 'RED PRINCE'	-	-	-	5 GAL.

PLANT NOTES

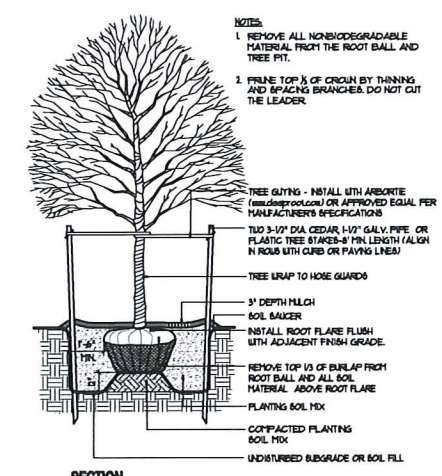
1. 3" DEPTH SHREDDED BARK MULCH WITH 10" OF SCREENED TOPSOIL.

2. ALL PLANT BEDS TO HAVE SPADE CUT EDGES.

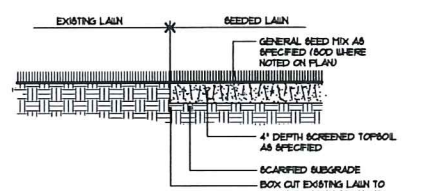
SECTION 3
SHRUB PLANTING
NOT TO SCALE 82-8300-02



SECTION 2
TREE PLANTING
NOT TO SCALE 82-8300-01



SECTION 1
SEEDED LAWN
NOT TO SCALE 82-8300-04



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PRELIMINARY NOT FOR CONSTRUCTION

REV No.	DATE	DRAWN BY	DESCRIPTION
1	9/15/17	MDL	CORTLANDVILLE FB SUBMISSION
2	7/15/18	MDL	BUILDING FOOTPRINT UPDATE
3	8/7/18	MDL	PLAYGROUND UPDATE

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JOB NO: 37051
DATE: 8/30/2017
DRAWN BY: MDL
REVIEW BY: EGK
SCALE: AS SHOWN

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SITE PLANTING PLAN

L4.0

**EROSION CONTROL NOTES
and EROSION CONTROL SEQUENCING**

EROSION AND SEDIMENT CONTROL NOTES:

1. PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL, AND THE SWPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

2. BARE SOILS SHALL BE SEEDED WITHIN 14 DAYS OF EXPOSURE, UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS, AS SECTIONS ARE COMPLETED, OR IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.

3. SITE PREPARATION SHALL INCLUDE:

A. SEEDING PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.

B. SOIL AMENDMENTS

1. LIME TO PH 6.0
2. FERTILIZER WITH 6000 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT.)

C. SEED MIXTURES

1. TEMPORARY SEEDINGS
a. RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS/ACRE (67 LBS/10000 SQ FT.)
b. CERTIFIED "ARCOB" WINTER RYE (CEREAL RYE) @ 100 LBS/ACRE (23 LBS/10000 SQ FT.)
2. PERMANENT SEEDINGS
a. ROUGH OR OCCASIONALLY MOULDED AREAS:

LBS/ACRE	LBS/10000 SQ FT.	0.20
EMPIRE BIRDFOOT TREPLO, OR COMMON WHITE CLOVER PLUS TALL FESCUE PLUS REDTOP	5	0.2
RYEGRASS (PERENNIAL)	5	0.05
		0.10

*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING

D. METHOD OF SEEDING:
BROADCASTING, DRILLING WITH CULTIPACK TYPE BEEDER OR HYDROSEEDING ARE ACCEPTABLE.

4. DISTURBED AREAS SHALL BE SEEDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.

6. ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATIONS SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.

7. ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.

8. SEE DRAWING L-1 FOR LEGEND.

9. TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES - AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE FOREBAY OR BASIN, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

10. DIRECT ACCESS SHALL BE PROVIDED TO ALL BASIN AREAS FOR MAINTENANCE AND REHABILITATION.

11. ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SWPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.

12. THE PERMITEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT, SWPPP INSPECTOR OR NYSDEC.

13. PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL AND THE NYSDEC'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".

14. MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (1" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPLACING DAMAGED OR SLOTTED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.

15. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LAUNIS HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.

16. CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

**EROSION CONTROL AND CONSTRUCTION SEQUENCE
PHASE 1 - SITE and PREPARATION**

1. PRIOR TO SITE DISTURBANCE, CONSTRUCT 18" x 6" STABILIZED CONSTRUCTION ENTRANCES OF 6" MINIMUM STONE AGGREGATE UNDERLAIN WITH FILTER FABRIC AT PROPOSED SITE ENTRANCE LOCATIONS AS SHOWN ON THE DRAWING.

2. SILT FENCE - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLAN PRIOR TO EARTHWORK. SILT FENCE SHALL BE UTILIZED ONLY AS A TEMPORARY MEASURE. DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING THE COMPLETION OF ANY EARTHWORK PHASE.

3. CLEARING and GRUBBING - REMOVE ALL TREES, STUMPS AND BRUSH PRIOR TO EARTHWORK.

4. STRIP AND STOCKPILE TOPSOIL IN AREA SHOWN ON PLAN AND / OR AGREED UPON LOCATION WITH OWNER. ENCLOSE TOPSOIL AREAS WITH SILT FENCE.

5. GRADE WATER QUALITY / DETENTION BASIN INCLUDING OUTLET PIPES & STRUCTURES AS SHOWN ON THE DRAWINGS. PROVIDE RIP RAP STONE PROTECTION APRONS AT OUTLET LOCATIONS AS SHOWN ON THE DRAWING. FINE GRADE, SEED AND MULCH WITHIN SEVEN (7) DAYS OF DISTURBANCE. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.

6. PROVIDE DRAINAGE STRUCTURES AND PIPING, INCLUDING DRAINAGE INLET PROTECTION AS SHOWN ON THE DRAWING.

7. PROVIDE DRAINAGE CHANNELS AND INSTALL EROSION CONTROL MEASURES WITHIN DRAINAGEWAYS.

8. MAKE ALL CONNECTIONS TO EXISTING STORM SYSTEM FACILITIES.

9. COORDINATE GAS, ELECTRIC & UTILITIES (PHONE, CABLE, ETC.) INSTALLATION WITH APPROPRIATE AGENCIES. CONTRACTOR TO TEMPORARILY SEED ALL AREAS DISTURBED BY UTILITY CONTRACTORS & OTHERS WITHIN 7 DAYS.

10. EXCAVATE, FILL GRADED AREAS AS SHOWN ON THE DRAWINGS. FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS TO RECEIVE ASPHALT PAVEMENT SHOULD BE PAVED WITH AT LEAST THE ASPHALT BINDER COURSE WITHIN SEVEN (7) DAYS OF PLACEMENT OF THE SUBBASE COURSE.

11. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.

12. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.

13. CLEAN WATER QUALITY / DETENTION BASIN AFTER ALL UPSTREAM CONTRIBUTORY DRAINAGE AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.

14. REMOVE TEMPORARY SILT FENCING, TRANSVERSE DITCH CONTROL MEASURES AND ROCK CHECK DAMS AFTER SITE IS COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED. PROVIDE RIP RAP WITHIN DIVERSION DRAINAGE CHANNEL ALONG PROPERTY LINE AS SHOWN ON THE DRAWINGS.

15. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.

16. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.

17. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.

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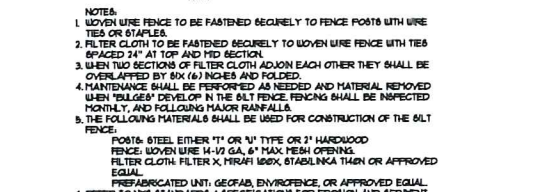
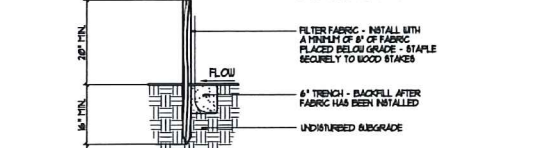
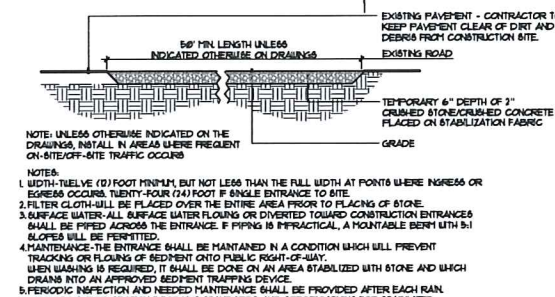
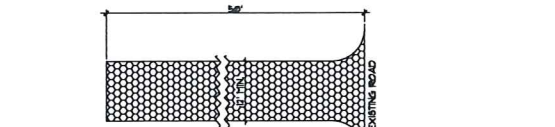
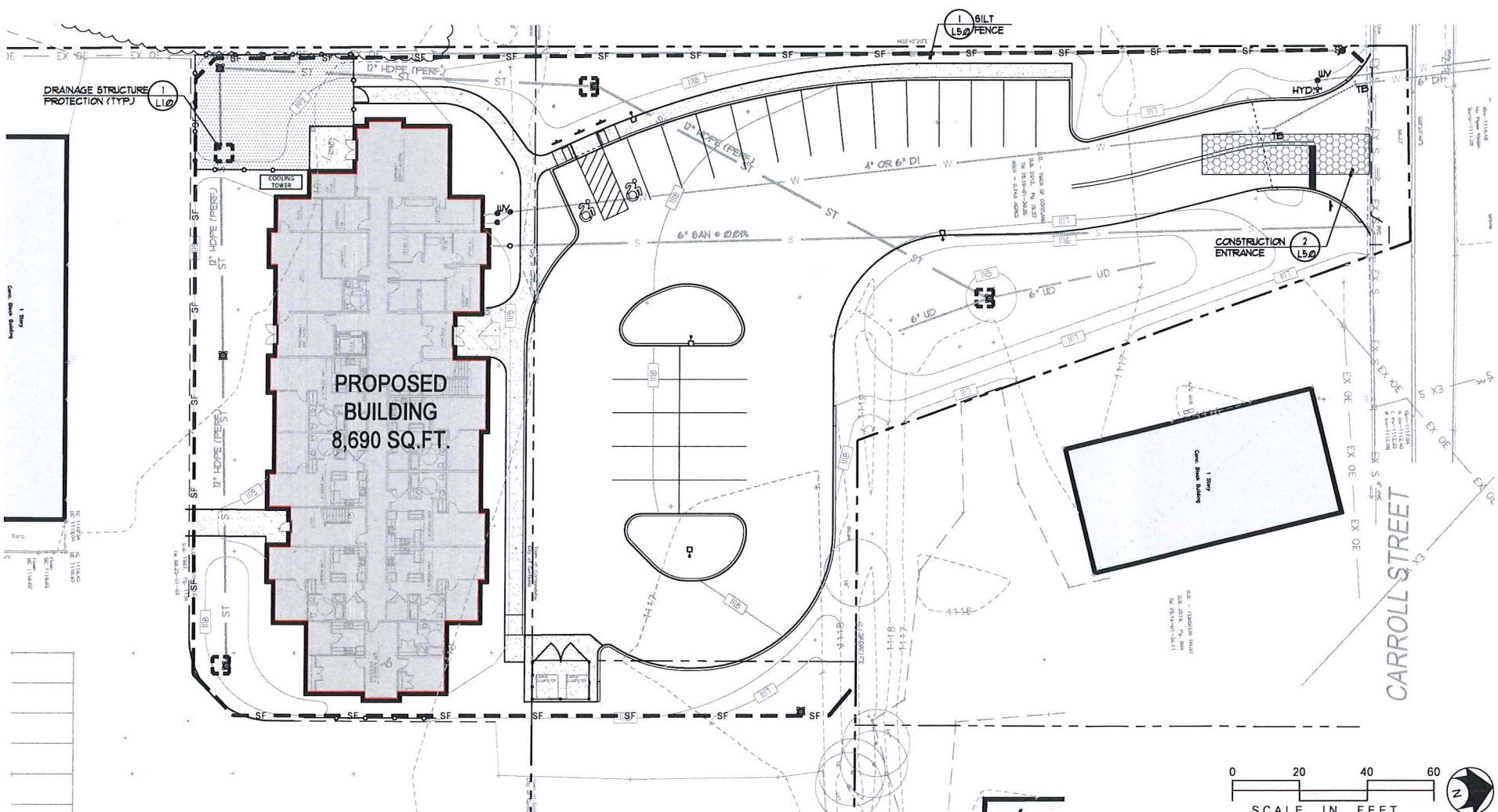
37. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AFTER ASPHALT BINDER COURSE IS PLACED.

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40. MAINTAIN ALL DISTURBED SOIL AREAS AND DRAINAGE FACILITIES UNTIL AREAS ARE COMPLETELY STABILIZED AND VEGETATION IS ACHIEVED.

SWPPP LEGEND



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REV. No.	DATE	DRAWN BY	DESCRIPTION
1	9/19/17	MDL	CORTLANDVILLE PB SUBMISSION
2	7/20/18	MDL	BUILDING FOOTPRINT UPDATE
3	8/17/18	MDL	PLAYGROUND UPDATE

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SCALE: AS SHOWN

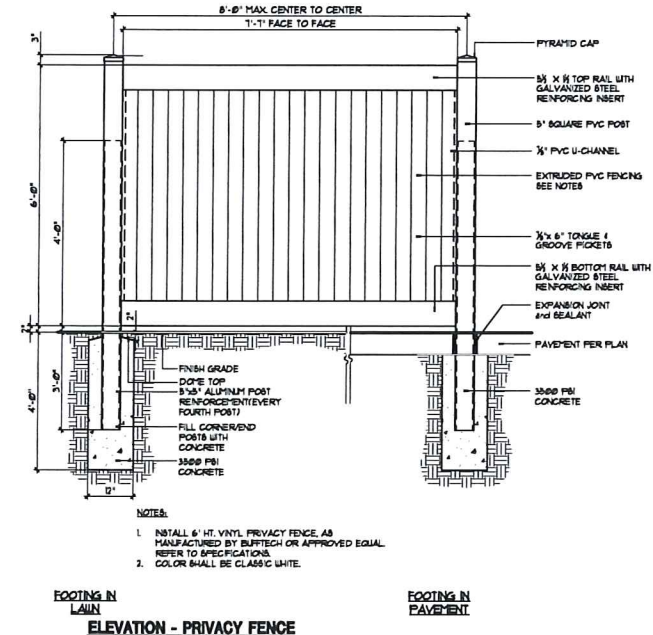
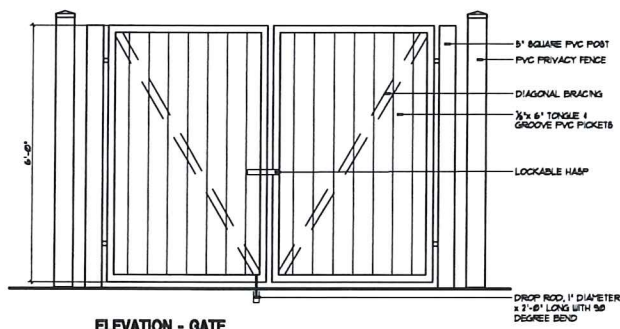
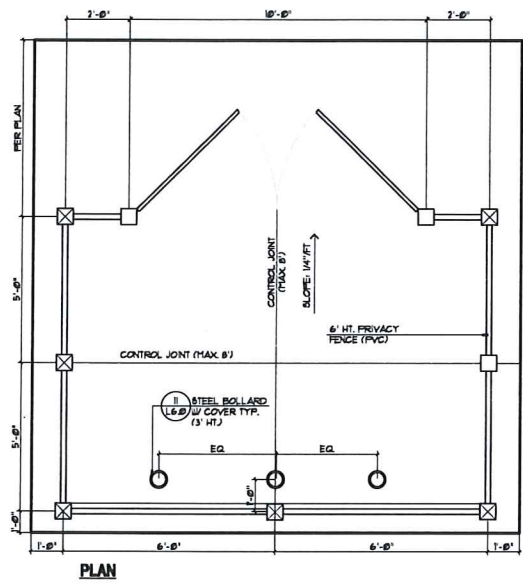
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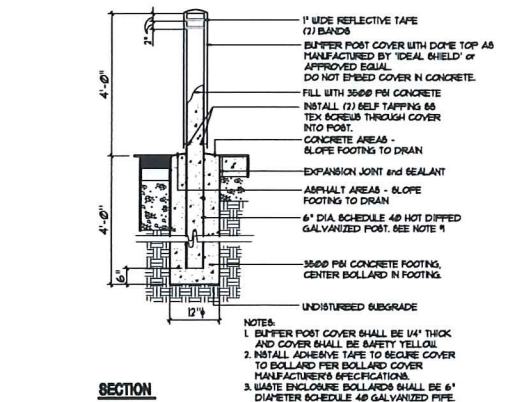


EROSION & SEDIMENT CONTROL PLAN

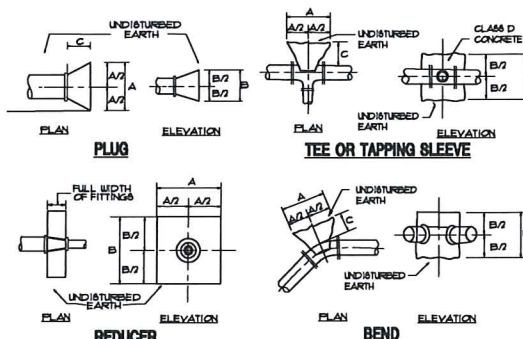
L5.0



10 WASTE/RECYCLING ENCLOSURE - VINYL
L&O NOT TO SCALE 32-4001-08



11 STEEL BOLLARD W/ COVER
L&O NOT TO SCALE 32-4000-08D



CONCRETE ANCHOR & THRUST BLOCK DIMENSIONS

SIZE	A			B			C			D		
3/4" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
1" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
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13" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
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14 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
15" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
15 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
16" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
16 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
17" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
17 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
18" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
18 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
19" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
19 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
20" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
20 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
21" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
21 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
22" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
22 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
23" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
23 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
24" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
24 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
25" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
25 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
26" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
26 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
27" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
27 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
28" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
28 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
29" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
29 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
30" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
30 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
31" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
31 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
32" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
32 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
33" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
33 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
34" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
34 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
35" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
35 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
36" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
36 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
37" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
37 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
38" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
38 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
39" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
39 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
40" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
40 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
41" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
41 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
42" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
42 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
43" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
43 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
44" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
44 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
45" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
45 1/2" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
46" BEND	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
46 1/2" BEND	2'-0"	2'-0"	2'-0"									

VBC Job Name: VBC Catalog Number: VUE-1-T2-32L-53-55K-UNV-EPS Type: S1

NLS LIGHTING VUE SERIES SITE LIGHTING

Product Features:
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.

Project Name: Type: Status: Date: 8/25/2017

VBC Job Name: VBC Catalog Number: VUE-1-T2-32L-53-55K-UNV-EPS Type: S1

PRODUCT SPECIFICATIONS

PRODUCT DIMENSIONS

Item	Quantity	Unit	Description
1	1	EA	VUE-1-T2-32L-53-55K-UNV-EPS

VBC Job Name: VBC Catalog Number: WJM-1-T5-32L-53D-55K-UNV-EPS Type: S1

WJM SQUARE NON-TAPERED STEEL (SS)

PRODUCT SPECIFICATIONS

PRODUCT DIMENSIONS

Item	Quantity	Unit	Description
1	1	EA	WJM-1-T5-32L-53D-55K-UNV-EPS

VBC Job Name: VBC Catalog Number: VUE-1-T2-32L-53-55K-UNV-EPS Type: S1A

NLS LIGHTING VUE SERIES SITE LIGHTING

Product Features:
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.

Project Name: Type: Status: Date: 8/25/2017

VBC Job Name: VBC Catalog Number: VUE-1-T2-32L-53-55K-UNV-EPS Type: S1A

PRODUCT SPECIFICATIONS

PRODUCT DIMENSIONS

Item	Quantity	Unit	Description
1	1	EA	VUE-1-T2-32L-53-55K-UNV-EPS

VBC Job Name: VBC Catalog Number: WJM-1-T5-32L-53D-55K-UNV-EPS Type: S1A

WJM SQUARE NON-TAPERED STEEL (SS)

PRODUCT SPECIFICATIONS

PRODUCT DIMENSIONS

Item	Quantity	Unit	Description
1	1	EA	WJM-1-T5-32L-53D-55K-UNV-EPS

VBC Job Name: VBC Catalog Number: VUE-1-T2-32L-53-55K-UNV-EPS Type: WM

NLS LIGHTING VUE SERIES SITE LIGHTING

Product Features:
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.
 • The Star Power™ optical system is designed to provide uniform lighting with a wide beam spread.

Project Name: Type: Status: Date: 8/25/2017

VBC Job Name: VBC Catalog Number: WJM-1-T5-32L-53D-55K-UNV-EPS Type: WM

PRODUCT SPECIFICATIONS

PRODUCT DIMENSIONS

Item	Quantity	Unit	Description
1	1	EA	WJM-1-T5-32L-53D-55K-UNV-EPS

STAMP

KEPLINGER FREEMAN ASSOCIATES
 LANDSCAPE ARCHITECTURE & LAND PLANNING
 4330 FLY ROAD, SUITE 100 EAST SPRINGFIELD, NEW YORK 13207
 PHONE: (315) 445-7980 FAX: (315) 445-7981

RZ Engineering, PLLC
 4233 FLY ROAD, SUITE 100 EAST SPRINGFIELD, NEW YORK 13207
 PHONE: (315) 445-7980 FAX: (315) 445-7981

PRELIMINARY NOT FOR CONSTRUCTION

REV No	DATE	DRAWN BY	DESCRIPTION
1	8/19/17	MDL	CORTLANDVILLE FB SUBMISSION
2	7/25/18	MDL	BUILDING FOOTPRINT UPDATE
3	8/17/18	MDL	PLAYGROUND UPDATE

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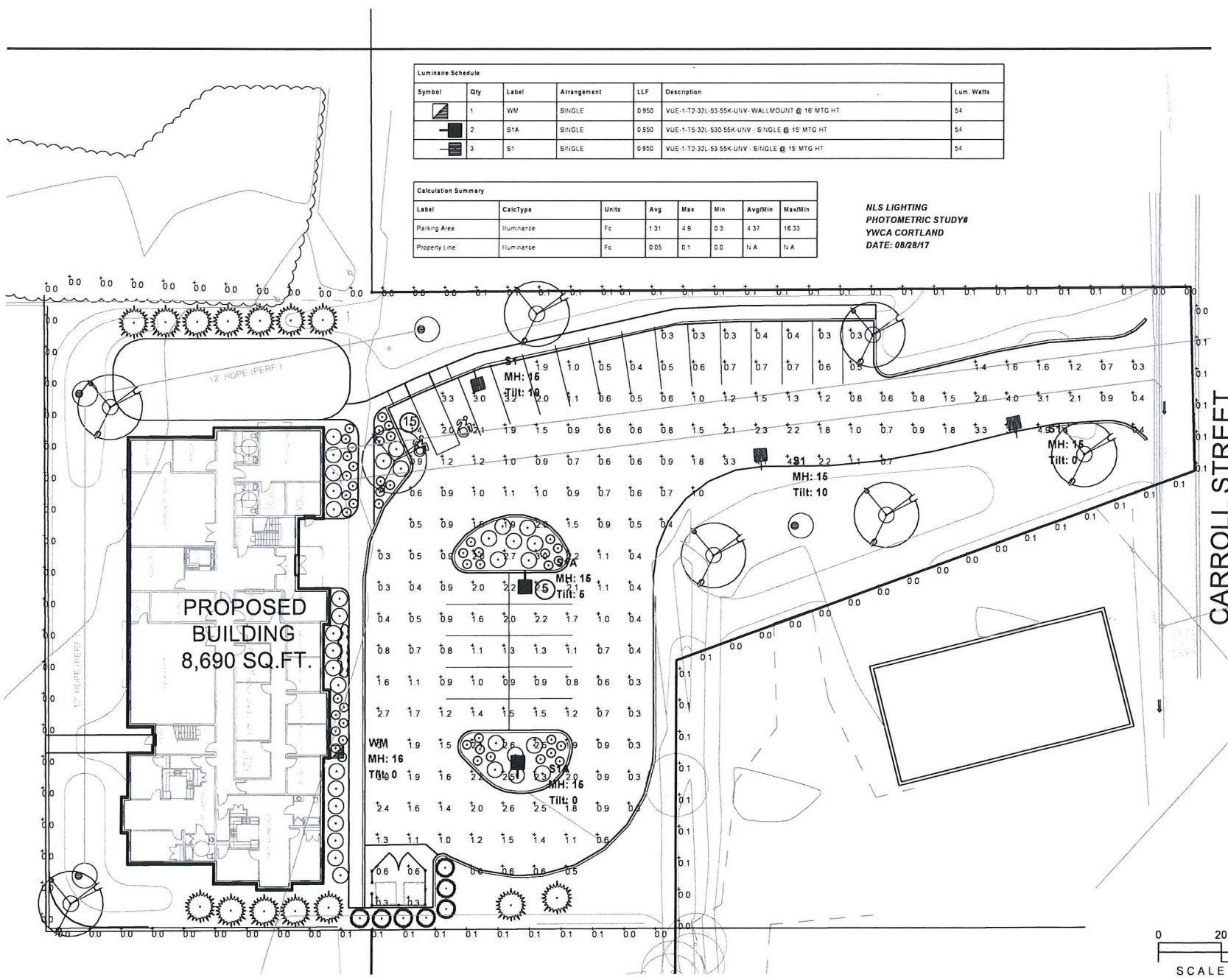
JOB NO: 37051
 DATE: 8/30/2017
 DRAWN BY: MDL
 REVIEW BY: EGK
 SCALE: AS SHOWN

THE GRACE BROWN HOUSE
 FOR THE CORTLAND YWCA
 1318 CARROLL STREET, CORTLAND, NEW YORK

HOLMES • KING • KALLQUIST & Associates, Architects, LLP
 575 NORTH SALINA STREET, SYRACUSE, NY 13208
 Ph: (315) 476-8371 Fax: (315) 476-5420
 www.hkarchitects.com

PHOTOMETRICS PLAN

L7.0



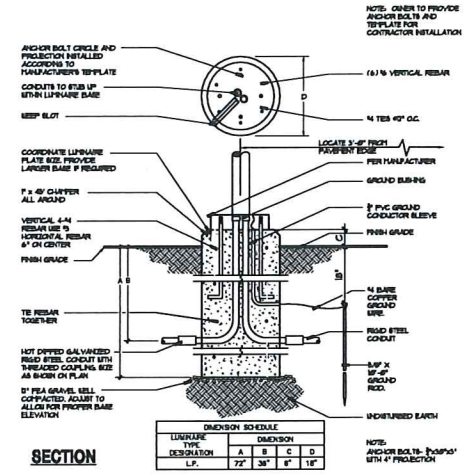
Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
1	1	WM	SINGLE	0.950	VUE-1-T2-32L-53-55K-UNV-WALLMOUNT @ 16' MTG HT	54
2	2	S1A	SINGLE	0.950	VUE-1-T5-32L-53D-55K-UNV - SINGLE @ 15' MTG HT	54
3	3	S1	SINGLE	0.950	VUE-1-T2-32L-53-55K-UNV - SINGLE @ 15' MTG HT	54

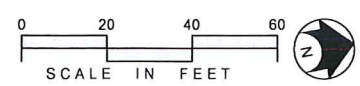
Calculation Summary

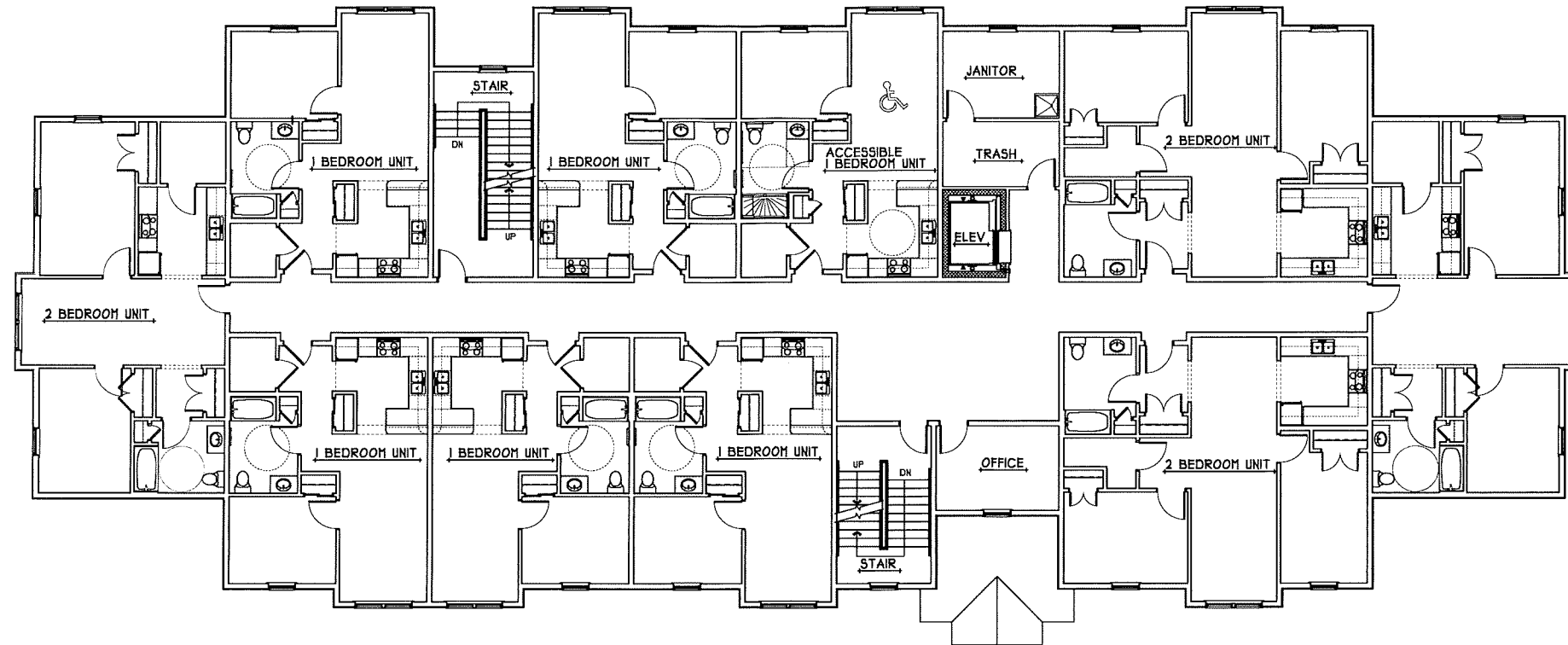
Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Parking Area	Illuminance	Fc	1.31	4.9	0.3	4.37	16.33
Property Line	Illuminance	Fc	0.05	0.1	0.0	N/A	N/A

NLS LIGHTING
 PHOTOMETRIC STUDY#
 YWCA CORTLAND
 DATE: 08/28/17

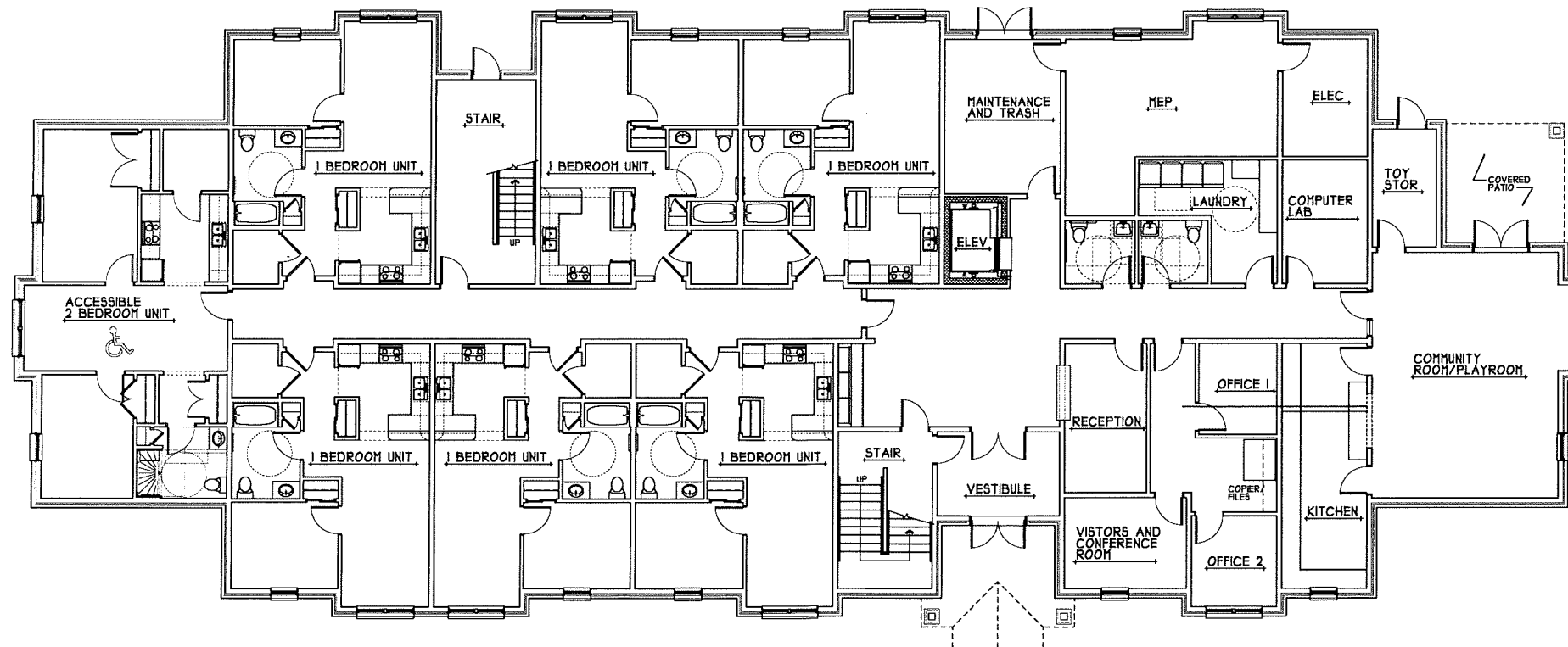


SECTION 1 FOUNDATION LUMINAIRE BASE - ROUND
 NOT TO SCALE 88-7000-01A





SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" (B-1) AU



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" (A-1) AU

**PRELIMINARY
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CONSTRUCTION**

REV No.	DATE	DRAWN BY	DESCRIPTION

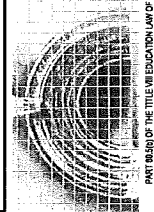
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JOB NO. 17005
DATE: 08/17/2018
DRAWN BY: KT
SCALE: 1/8" = 1'-0"

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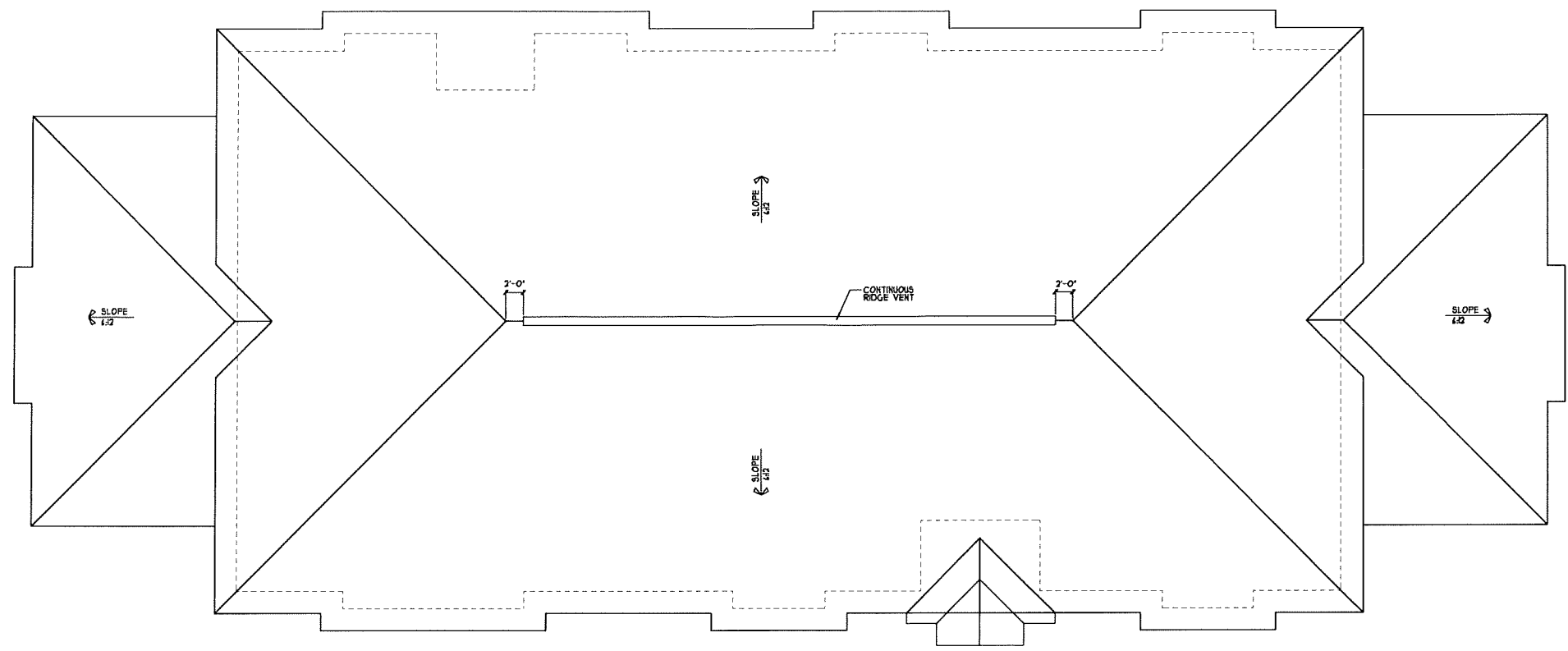
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& Associates, Architects, LLP
575 North Salina Street, Syracuse, NY 13208
PH: (315) 476-8371 Fax: (315) 476-5420
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FIRST AND SECOND FLOOR PLANS

A1.1

B:\17\2018 S_V08 KUMIRSH\2017\17005 Cortland YWCA -Apartment\A_Corridor\PILOT\17005 A1.2.rvt




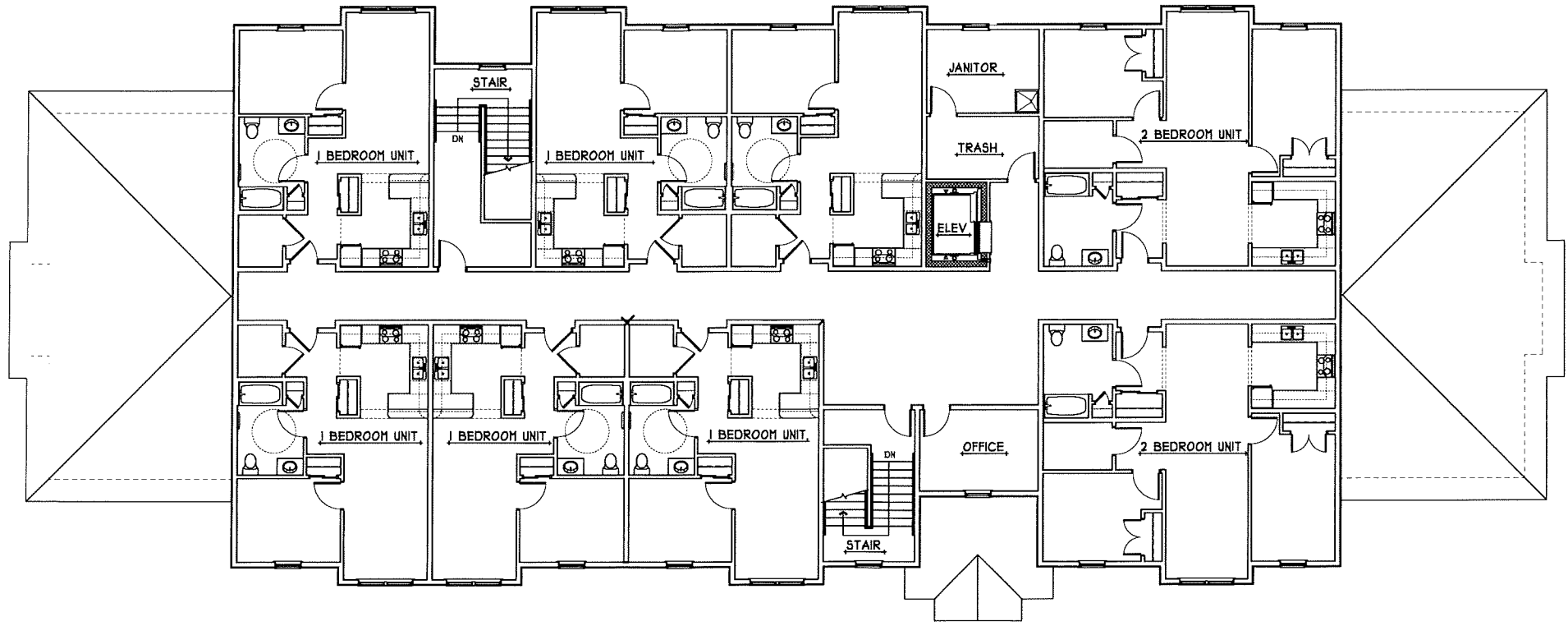
ROOF PLAN
SCALE: 1/8" = 1'-0"

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CONSTRUCTION**

REV No.	DATE	DRAWN BY:	DESCRIPTION:

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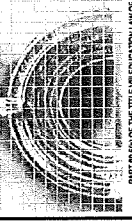
	JOB NO: 17005
	DATE: 08/17/2018
	DRAWN BY: KT
	SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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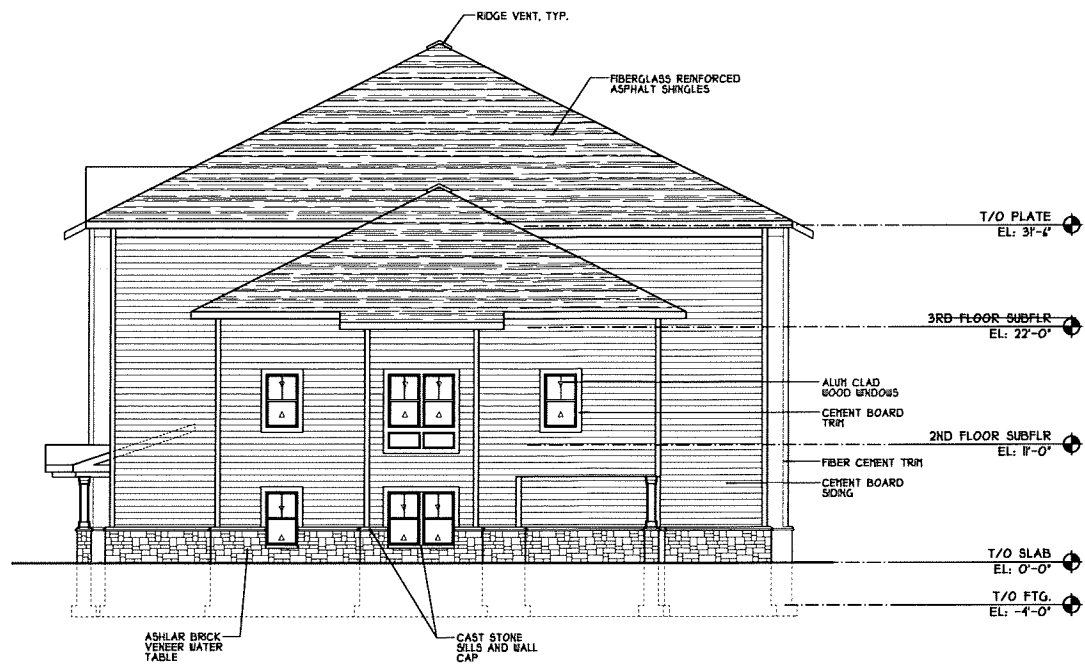
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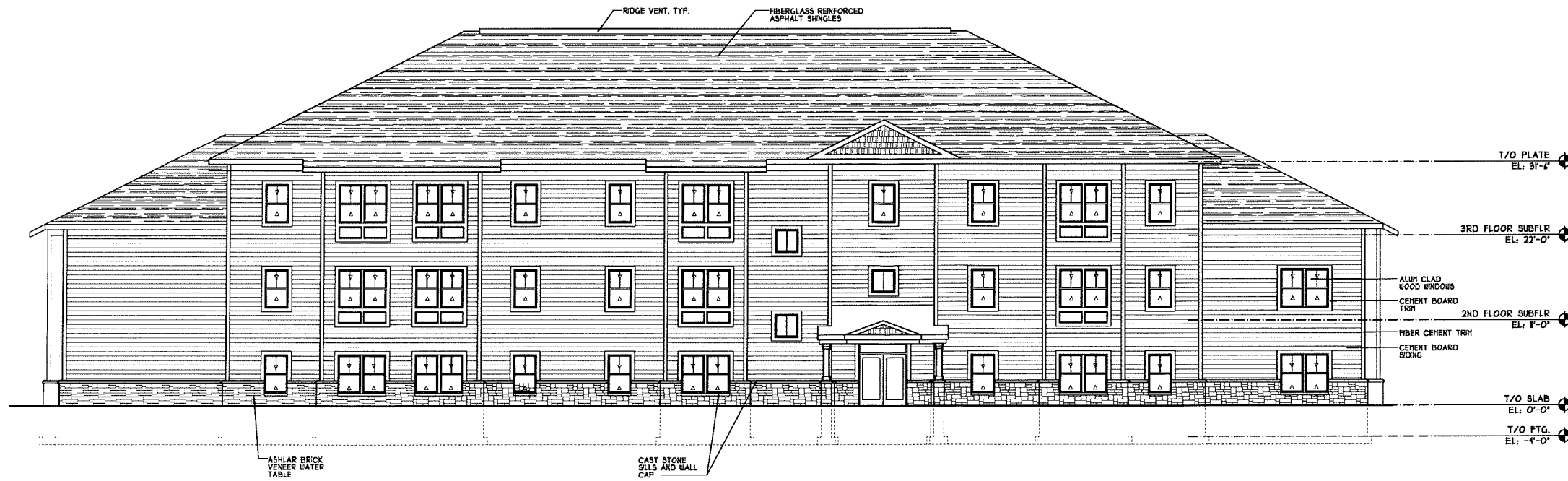
**THIRD FLOOR AND
ROOF PLAN**

A1.2

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WEST ELEVATION (B-1)
SCALE: 1/8" = 1'-0"



NORTH ELEVATION (A-1)
SCALE: 1/8" = 1'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

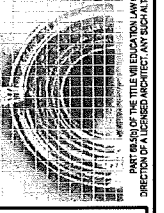
REV	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 17005
DATE: 08/17/2018
DRAWN BY: KT
SCALE: 1/8" = 1'-0"

THE GRACE BROWN HOUSE
FOR THE CORTLAND YWCA
1318 CARROLL STREET, CORTLAND, NEW YORK

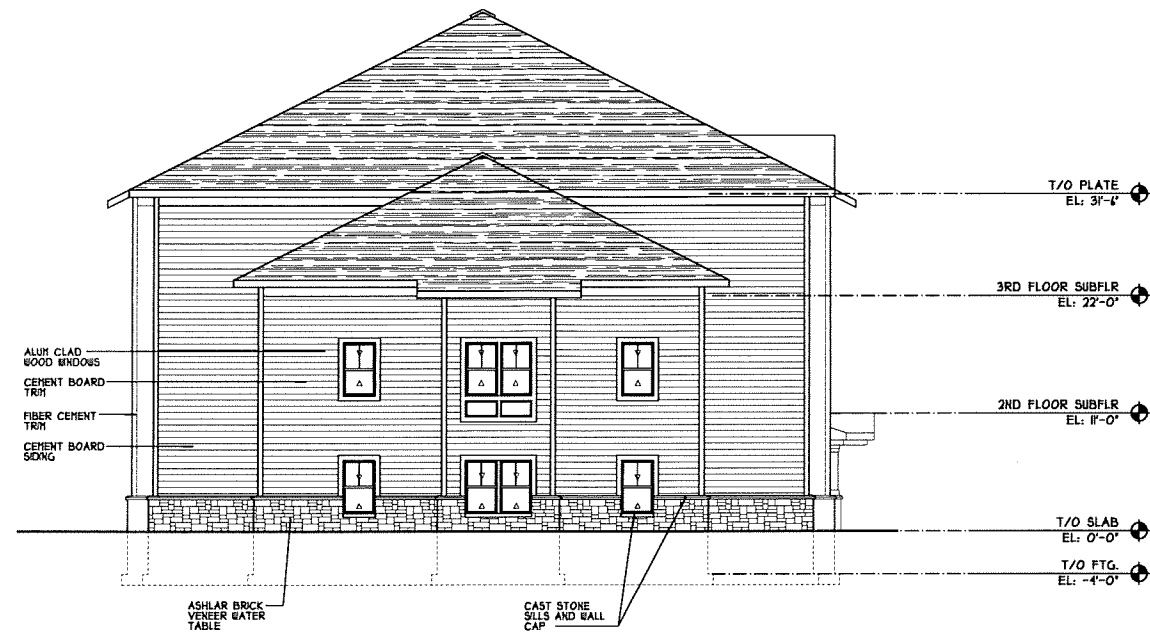
HOLMES ■ KING ■ KALLQUIST
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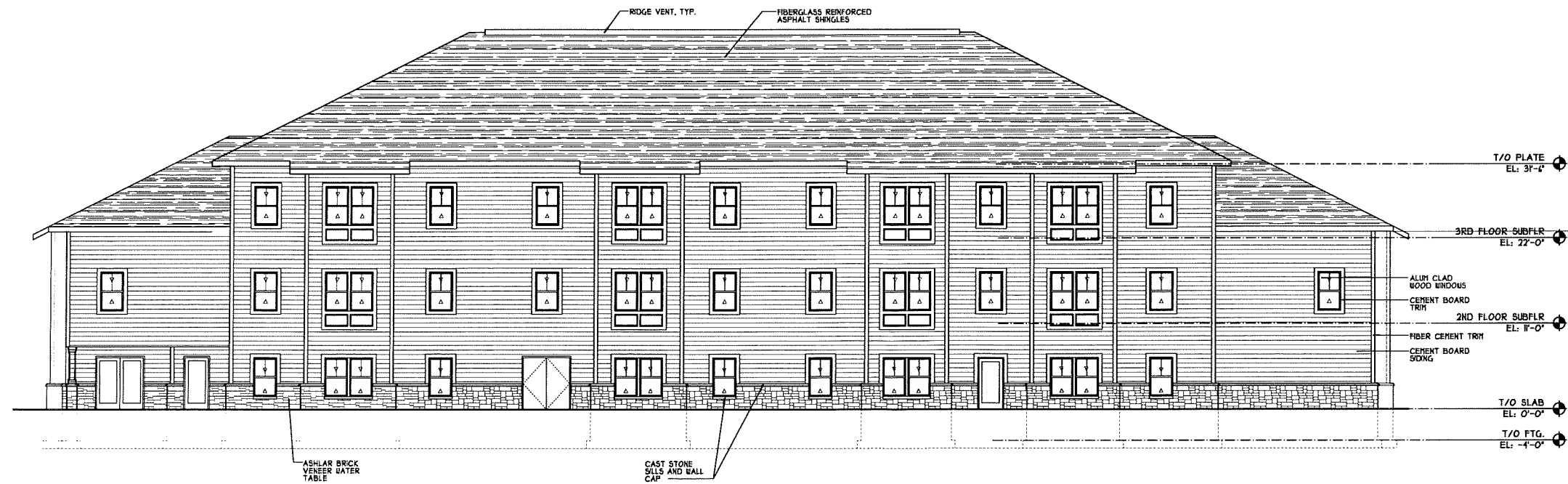
EXTERIOR
ELEVATIONS

A2.1

8/17/2018 5:10:08 PM S:\JOB NUMBER\2017\17005 Cortland YWCA Apartments\Contd\1101\17005_A2.2.rvt



EAST ELEVATION
SCALE: 1/8" = 1'-0"
B-1
A2.2



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
A-1
A2.2

**PRELIMINARY
NOT FOR
CONSTRUCTION**

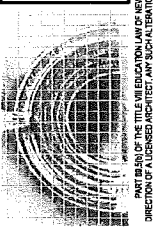
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DATE: 08/17/2018
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SCALE: 1/8" = 1'-0"

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EXTERIOR
ELEVATIONS

A2.2