



Emily Petrina <emily@firehousearchitecturelab.com>

Site Plan Review - Curb cuts, Ingress/egress

VanGorder, Keith (DOT) <Keith.VanGorder@dot.ny.gov>

Mon, Feb 25, 2019 at 7:24 PM

To: Emily Petrina <emily@firehousearchitecturelab.com>

Cc: "Buck, Eric (DOT)" <Eric.Buck@dot.ny.gov>, "Bush, Mark.B B (DOT)" <Mark.B.Bush@dot.ny.gov>

Hi Emily,

We reviewed your site plan, and forwarded our comments to our regional Permit group for their review. Below are the Department's initial comments. Please note that we will require a more detailed proposal when applying for a Highway Work Permit, and the comments included are preliminary.

1. It is difficult to assess various aspects of your proposal without reference to existing features, such as the existing building, light poles, drainage inlets along Route 222, and distances from adjacent buildings, for example. Please ensure your permit application includes existing features.
2. The turning radius needs to be verified, ensuring newer model extended pickup trucks can easily make the 180 degree turn. If any adjustments need to be made in entering the facility, it could result in queueing issues potentially affecting Route 222. Ensure turning templates for the design vehicle are used to design the site.
3. More detail is required to assess the ability to utilize existing curb cuts, including dimensions, separation between the curb cuts, driveways, driveway widths, and all radii. Separate driveways/curb cuts are highly recommended, including separation from the adjacent bank entry.
4. We assume the apparent parking spots located perpendicular to the ingress are going to be removed, as this is a potential backing conflict with vehicles entering the site. Also, please verify that there are no other traffic movements on site other than queued traffic in, and exiting traffic out to Route 222.
5. Queuing.
 - a. Ingress: Show that there is adequate length. Estimated volume in the peak hour vs how many vehicles the wash can accommodate, based on cycle time.
 - b. Egress: Assuming a vehicle exits the wash every 4-5 minutes (?) there should be plenty of time to get a gap in traffic to exit the site.
 - c. What about vehicles entering from the west parcel? Will vehicles be deterred from doing this to prevent queuing toward RT281 and conflicts with vehicles fighting for entry into the wash bay? In our office, we discussed closing off access from any other adjacent areas, and this will need to be verified on your permit plans.
6. There should be "DO NOT ENTER" (R5-1) signs for the egress to prevent vehicles from entering the wrong way and have to back out onto Route 222.
7. Consider shifting the building location west or south to increase accessibility on site, namely, specifically the 180 degree turn.
8. Please indicate plans for any other existing features, including the existing building, existing light poles, and how that may effect on site traffic.
9. Site drainage will need to be designed to ensure post-development flow does not exceed pre-development flow.

In summary, we do not have an issue with entry/exiting onto 222. The curb cut may require modification, which will be determined during the permit review process. We will also require data supporting your designed queue lengths and layout before approval is granted. Approval will be dependent upon the above considerations and the final design plans submitted.

Feel free to contact me with any questions or comments you may have concerning the above.

Keith

Squeaky Clean

1087 NYS Route 222

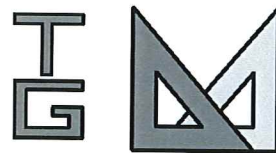
Basic Stormwater Pollution Prevention Plan

*Town of Cortlandville
Cortland County, New York*

Prepared for:

*Gary Sloan
1081-1087 NYS Route
Town of Cortlandville*

Prepared by:



*T.G. Miller P.C.
203 North Aurora Street
Ithaca, New York 14850
(607) 272-6477*

April 16, 2019

PROJECT DESCRIPTION

The project is located on a previously developed 0.394-acre parcel of land at 1087 NYS Route 222 described as Tax Map Parcel 86.13-01-29 in the Town of Cortlandville. The project consists of the demolition of an existing restaurant and cold storage buildings and adjacent pavements. The proposed site improvements include construction of a single-bay carwash and adjacent pavements and landscape areas.

Imperviousness of the lot is greater than 35% thus requiring the preparation of a Basic Stormwater Pollution Prevention Plan (SWPPP) in compliance with Chapter 178 Article XVI of the Town of Cortlandville Code. Conformance with the NYSDEC SPDES General Permit (GP-0-15-002) is not applicable, because the site disturbance is less than an acre. The stormwater management objectives presented in this Basic SWPPP focus primarily on controlling erosion and sedimentation during construction, stabilization of the site and a reduction in impervious soil cover in the redeveloped condition.

All areas of the site have been previously disturbed and the on-site soils are best described as man-made. Based upon the NRCS Soil Survey (Appendix A) the native soils are Palmyra Gravelly silt loams which are classified as Hydrologic Soil Group (HSG) A. There is no evidence of any wetlands located on or adjacent to the site (Appendix B). The site is located within Flood Zone X. Flood Zone X is defined by FEMA as a location in which there is a 0.2% annual chance of flood hazard or areas of 1% annual chance flood with average depth less than one foot, or with drainage areas less than one square mile (Appendix C).

STORMWATER DRAINAGE

Existing Conditions

A portion of the site drains to the south to the NYS Route 222 drainage system maintained by the NYSDOT. The remaining areas of the site drain generally to the north to Dry Creek which is an open channel classified by the NYSDEC as a Class-C stream. The majority of the existing site area is impervious with 0.38 acres (97%) of impervious and 0.01 acres or pervious soil cover. The existing site conditions are shown on Sheet C101 of the attached drawings.

Proposed Conditions

The redeveloped site will maintain the existing drainage patterns and maintain the existing areas draining overland to the north and south across the site to the drainage systems at NYS Route 222 and to Dry Creek. The project will increase the amount of landscape areas on the site resulting in a reduction in impervious cover from approximately 97% (0.38 acres) to 89% (0.35 acres). The reduction in impervious will reduce the peak rates and volumes of runoff leaving the site. The proposed site conditions and drainage improvements are shown on Sheet C103 of the attached drawings.

The facility will capture and treat the wash water from the car wash operations using oil/water and grit separators before discharge to the Cortlandville sanitary sewer collection system. This same system will also capture and treat wash water from a 20'x30' concrete pre-wash pad located outside the building in advance of the entrance to the wash bay. The pre-wash pad will be equipped with a drainage inlet connected to the car wash treatment system to capture the dirty pre-wash water along with stormwater runoff from the 0.01-acre pad.

Any spills of hazardous materials which are in quantities in excess of Reportable Quantities as defined by EPA regulations shall be immediately reported to the EPA National Response Center 1-800-424-8802.

In order to minimize the potential for a spill of hazardous materials to come into contact with stormwater, the following steps will be implemented:

- All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, construction chemicals, acids, paints, paint solvents, cleaning solvents, additives for soil stabilization, concrete curing compounds and additives, etc.) will be stored in a secure location, under cover, when not in use.
- The minimum practical quantity of all such materials will be kept on the job site.
- A spill control and containment kit (containing, for example, absorbent such as kitty litter or sawdust, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.
- All of the products in a container will be used before the container is disposed of. All such containers will be triple-rinsed with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in compliance with state and federal regulations and will not be allowed to mix with stormwater discharges.
- All products will be stored in and used from the original container with the original product label.
- All products will be used in strict compliance with instructions on the product label.
- The disposal of excess or used products will be in strict compliance with instructions on the product label.

MAINTENANCE AND INSPECTIONS

The applicant or developer of the land development activity or his/her representative shall at all times properly operate and maintain all facilities and systems of treatment and control (and related appurtenances) which are installed or used by the applicant or developer to achieve compliance with the conditions of these regulations.

The Town may conduct inspections of the site to determine compliance with the SWPPP and Town code. Inspections may be performed by the Town Code Enforcement Officer or other consultants or professionals acting on behalf of the Town.

At a minimum, the applicant shall notify the Town or designated inspector at least 48 hours before any of the following occurs:

- Installation of sediment and erosion control measures.
- Completion of site clearing, and rough grading.
- Completion of final grading.
- Backfilling of any underground drainage or stormwater structure or conveyance.
- Close of the construction season.
- Completion of final landscaping.

Additionally, the Town of Cortlandville may conduct random inspections during any phase of construction. If any violations are found, the applicant and developer shall be notified in writing of the nature of the violation and the required corrective actions. No further work shall be conducted, except for site stabilization, until any violations are corrected and all work previously completed has received approval by the SMO.

FORM 1

CONTRACTOR/SUBCONTRACTOR CERTIFICATION
Construction Site: 1087 NYS Route 222
Town of Cortlandville, Cortland County, New York

CONTRACTOR/SUBCONTRACTOR'S CERTIFICATION:

"I certify under penalty of law that I understand and agree to comply with the terms and conditions of the Basic Stormwater Pollution Prevention Plan (SWPPP). I also understand that it is unlawful for any person to cause or contribute to a violation of water quality standards."

CONTRACTOR

Name: _____ Signature: _____
(Print)
Title: _____ Date: _____
Company Name: _____ Phone Number: _____
Address: _____

SUBCONTRACTOR

Name: _____ Signature: _____
(Print)
Title: _____ Date: _____
Company Name: _____ Phone Number: _____
Address: _____

SUBCONTRACTOR

Name: _____ Signature: _____
(Print)
Title: _____ Date: _____
Company Name: _____ Phone Number: _____
Address: _____

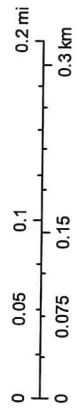
Note: Provide addition forms as necessary for addition contractors or subcontractors.

Squeaky Clean - Environmental Resource Viewer



April 15, 2019

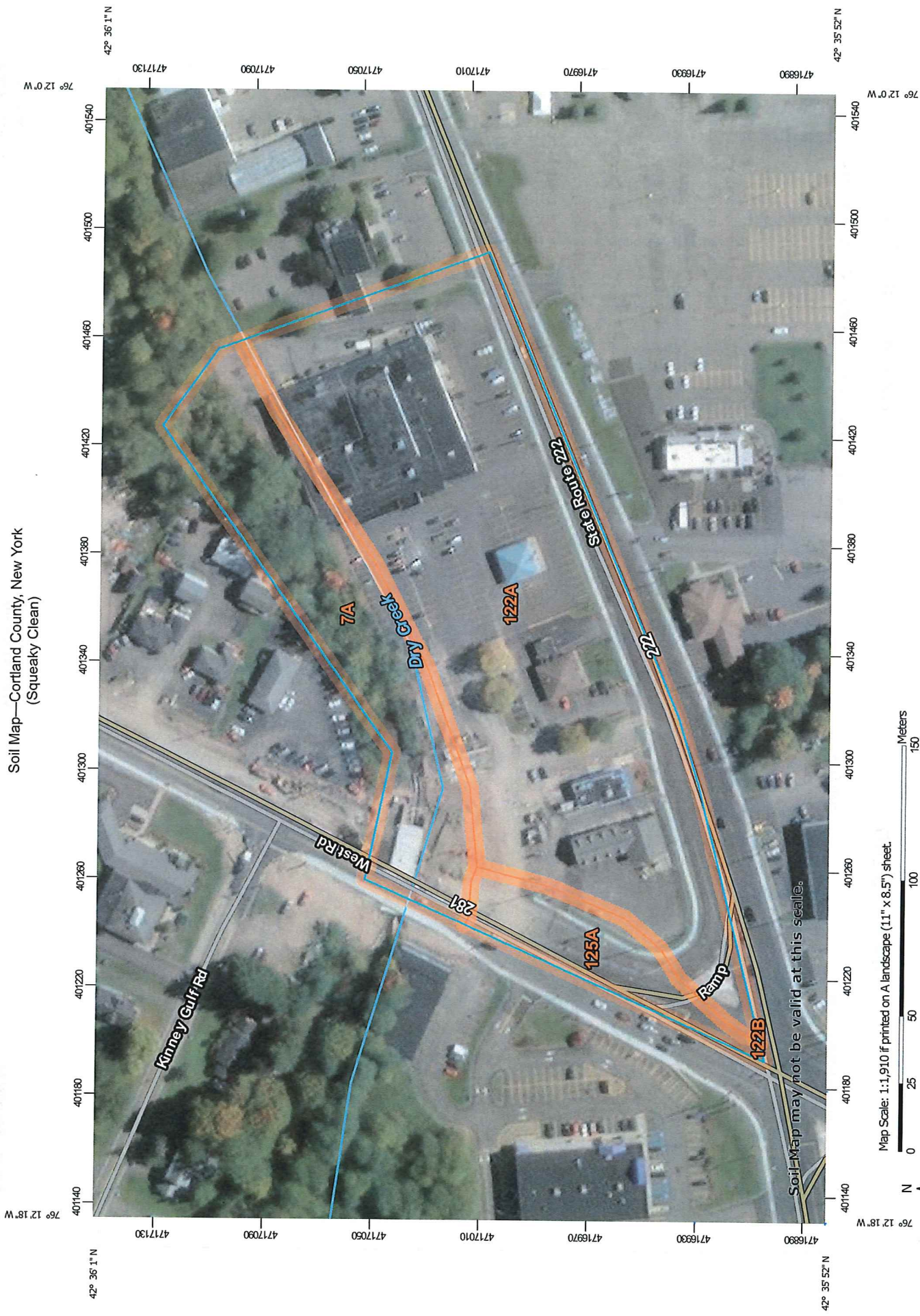
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Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBasis, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community

NYS Department of Environmental Conservation
Not a legal document

Soil Map—Cortland County, New York
(Squeaky Clean)



Map Scale: 1:1,910 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84



Natural Resources
Conservation Service



Web Soil Survey
National Cooperative Soil Survey

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7A	Geneseo silt loam, 0 to 3 percent slopes, occasionally flooded	1.8	23.6%
122A	Palmyra gravelly silt loam, 0 to 3 percent slopes	5.4	68.9%
122B	Palmyra gravelly silt loam, 3 to 8 percent slopes	0.0	0.0%
125A	Howard gravelly loam, 0 to 3 percent slopes	0.6	7.5%
Totals for Area of Interest		7.8	100.0%

Minor Components

Howard

Percent of map unit: 10 percent
Landform: Terraces, valley trains
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Tread
Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Hydric soil rating: No

Phelps

Percent of map unit: 3 percent
Landform: Valley trains, terraces
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Tread
Down-slope shape: Concave, linear
Across-slope shape: Convex, linear
Hydric soil rating: No

Red hook

Percent of map unit: 2 percent
Landform: Terraces, valley trains
Landform position (two-dimensional): Footslope, toeslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Linear
Hydric soil rating: No

National Flood Hazard Layer FIRMette



42°36'9.11"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone AE, V, X, Z
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with draught areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee, See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

CROSS SECTIONS WITH 1% ANNUAL CHANCE WATER SURFACE ELEVATION

- 20.2
- 17.5
- 15.0

OTHER FEATURES

- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Profile Baseline
- Hydrographic Feature

MAP PANELS

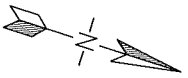
- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

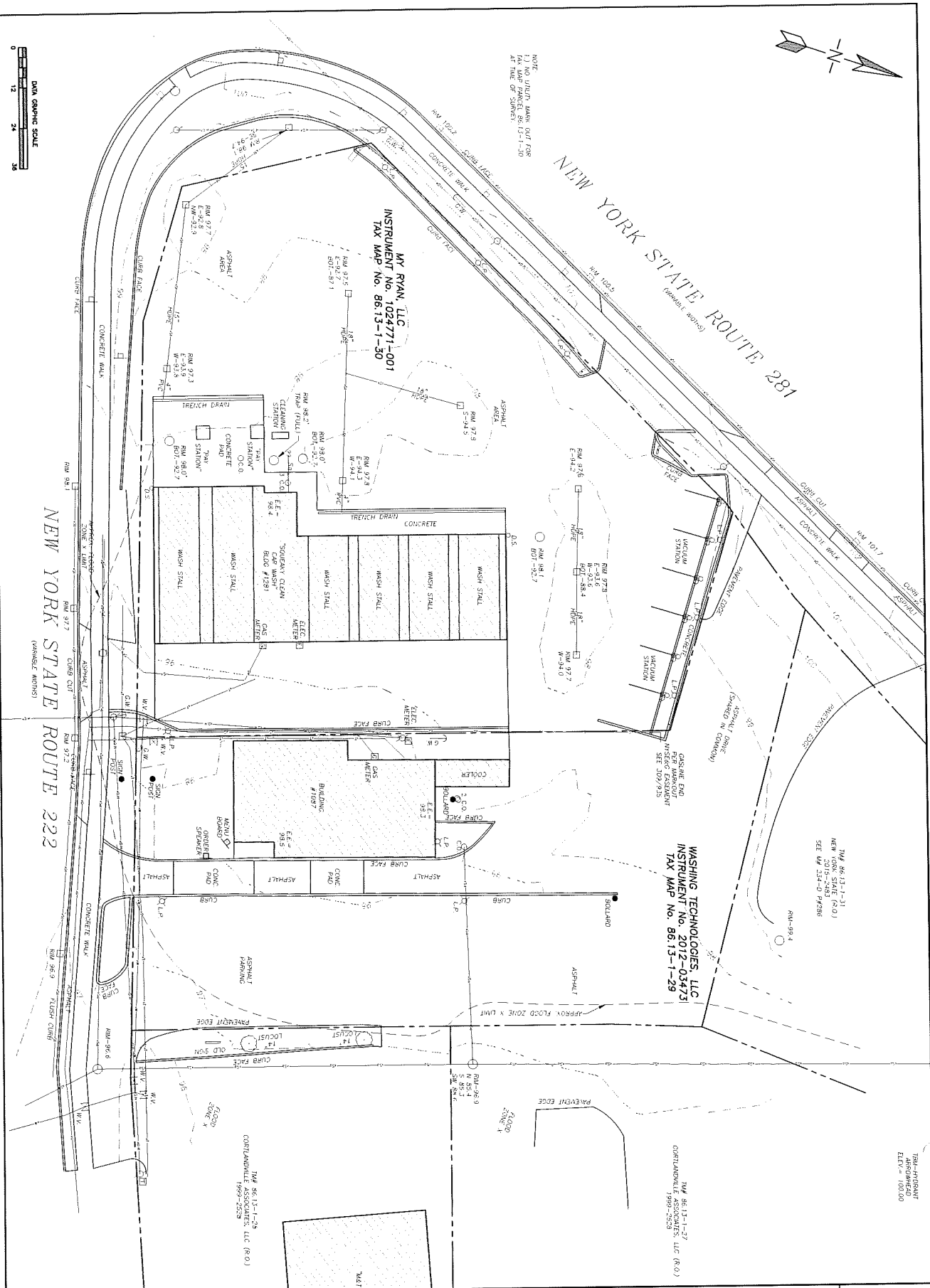
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/15/2019 at 6:42:58 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



NOTE:
1.) NO SURVEY MARKS SHOWN
AT THIS LOCATION



MY RYAN, LLC
INSTRUMENT No. 1024771-001
TAX MAP No. 86.13-1-30

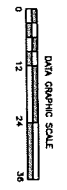
WASHINGTON TECHNOLOGIES, LLC
INSTRUMENT No. 2012-034731
TAX MAP No. 86.13-1-29

TAX MAP 86.13-1-31
NEW YORK STATE (S.O.)
1215-243
SEE MAP 284-01-79286

TAX MAP 86.13-1-27
CORTLAND COUNTY, NEW YORK
1989-25228

TAX MAP 86.13-1-28
CORTLAND COUNTY, NEW YORK
1989-25228

TRAIL-APPROXIMATE
APPROXIMATE
ELEV. = 100.00



SQUEAKY CLEAN CORTLAND
SITE REDEVELOPMENT FOR CAR WASH
1087 NYS ROUTE 222
TOWN OF CORTLANDVILLE, CORTLAND COUNTY, NEW YORK

DATE	BY	REVISION

SHEET TITLE
EXISTING
CONDITIONS
PLAN
DATE
04/18/19
SCALE
AS SHOWN
SHEET
E19-20
PROJECT
C101



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- SEQUENCING**
1. INITIAL SILT PROTECTION, SILT LOG AND SILT FENCE AT EXISTING SITES.
 2. INITIAL SILT FENCE AND SILT LOG AT CONSTRUCTION SITE OFF
 3. INITIAL SILT FENCE AND SILT LOG AT CONSTRUCTION SITE OFF
 4. INITIAL SILT FENCE AND SILT LOG AT CONSTRUCTION SITE OFF
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 6. INITIAL SILT FENCE AND SILT LOG AT CONSTRUCTION SITE OFF
 7. INITIAL SILT FENCE AND SILT LOG AT CONSTRUCTION SITE OFF

- GENERAL NOTES**
1. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.
 2. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.
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 10. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.

DESIGNER'S NOTES

1. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.

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7. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.

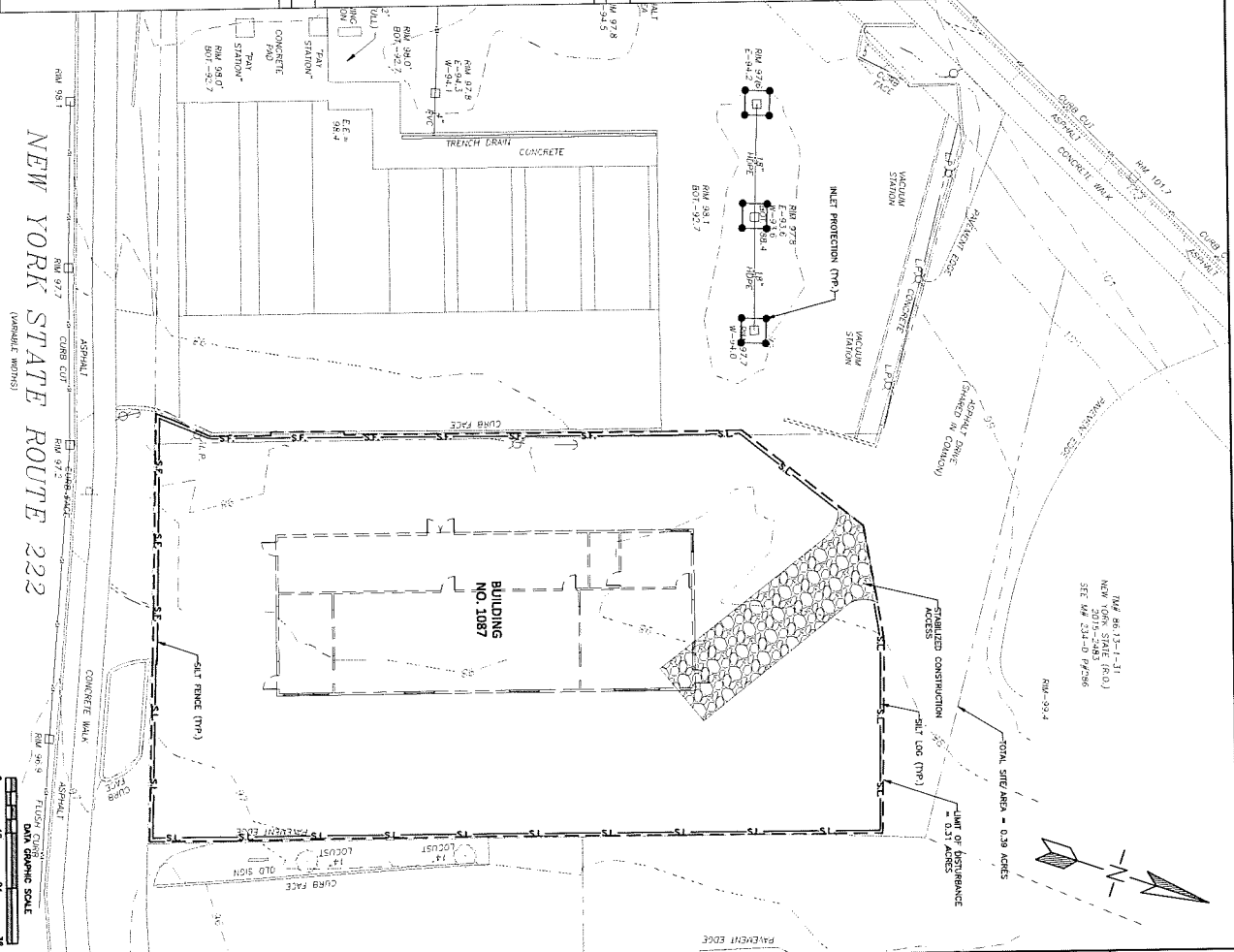
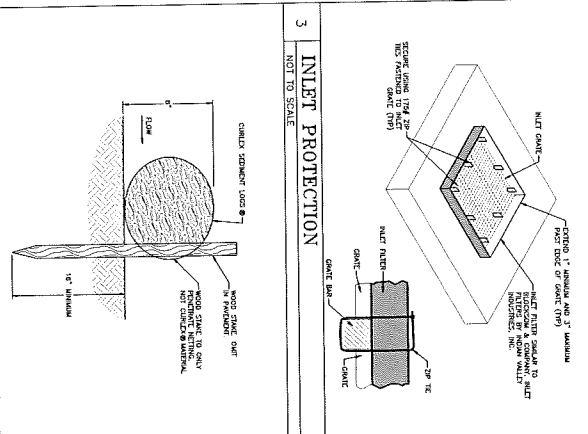
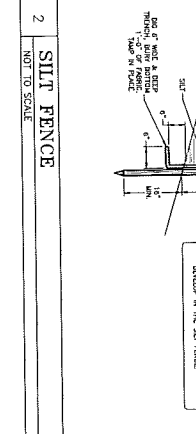
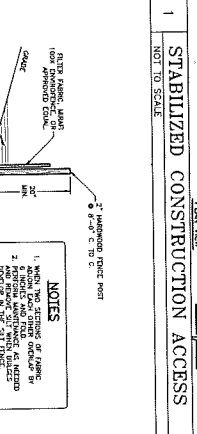
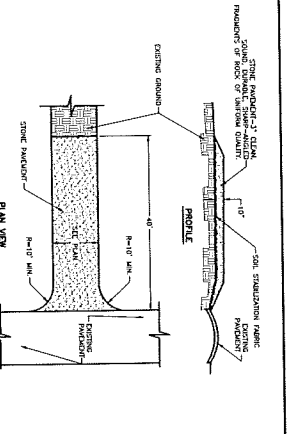
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9. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.

10. SILT FENCE AND SILT LOG TO BE INSTALLED AS PER COMPANY, NOT EXISTING CONSTRUCTION.

CONCRESSION SCHED. JUNE

DATE	DESCRIPTION	PERCENT COMPLETED
EXISTING	0.01	0.33
PROPOSED	0.54	0.33



T.G. MILLER, P.C.
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW YORK
 NO. 123456789
 1000 MAIN STREET
 ALBANY, NY 12207
 518-486-1234

SQUEAKY CLEAN CORTLAND
 SITE REDEVELOPMENT FOR CAR WASH
 1087 NYS ROUTE 222
 TOWN OF CORTLANDVILLE, CORTLAND COUNTY, NEW YORK

NO.	DATE	REVISION
1	04/18/19	ISSUE FOR PERMIT

SHEET TITLE
 EROSION AND SEDIMENT CONTROL PLAN

DATE
 04/18/19

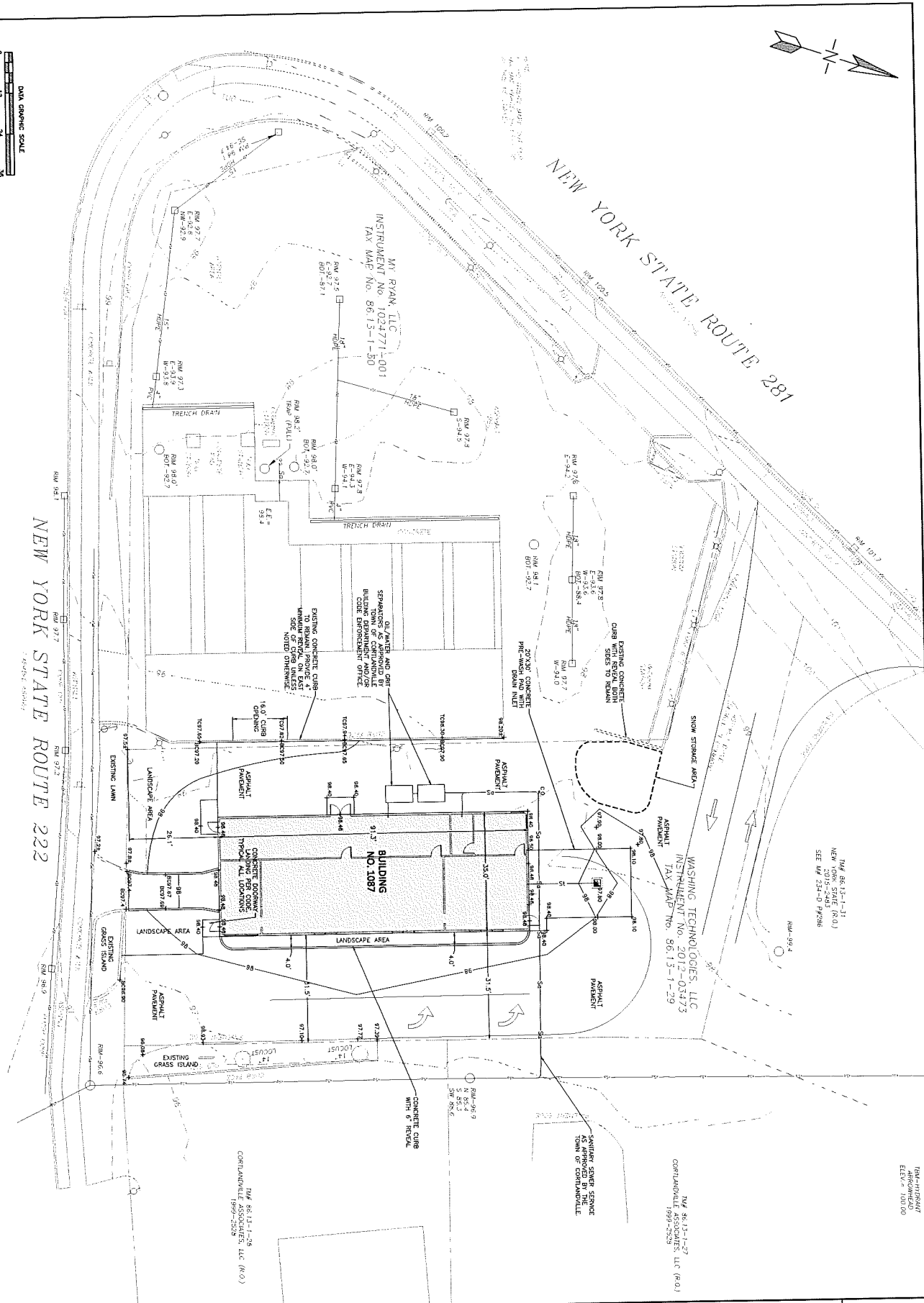
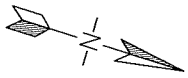
SCALE
 1" = 20'

PROJECT NO.
 E19-20

DRAWN BY
 JLS

CHECKED BY
 DMW

PROJECT NO.
 C102



SQUEAKY CLEAN CORTLAND
SITE REDEVELOPMENT FOR CAR WASH
1087 NYS ROUTE 222
 TOWN OF CORTLANDVILLE, CORTLAND COUNTY, NEW YORK

F.C. MILLER, P.C.
 ENGINEER AND SURVEYOR
 1000 STATE STREET, SUITE 200
 CORTLAND, NEW YORK 13828
 TEL: 607/753-1111
 FAX: 607/753-1112

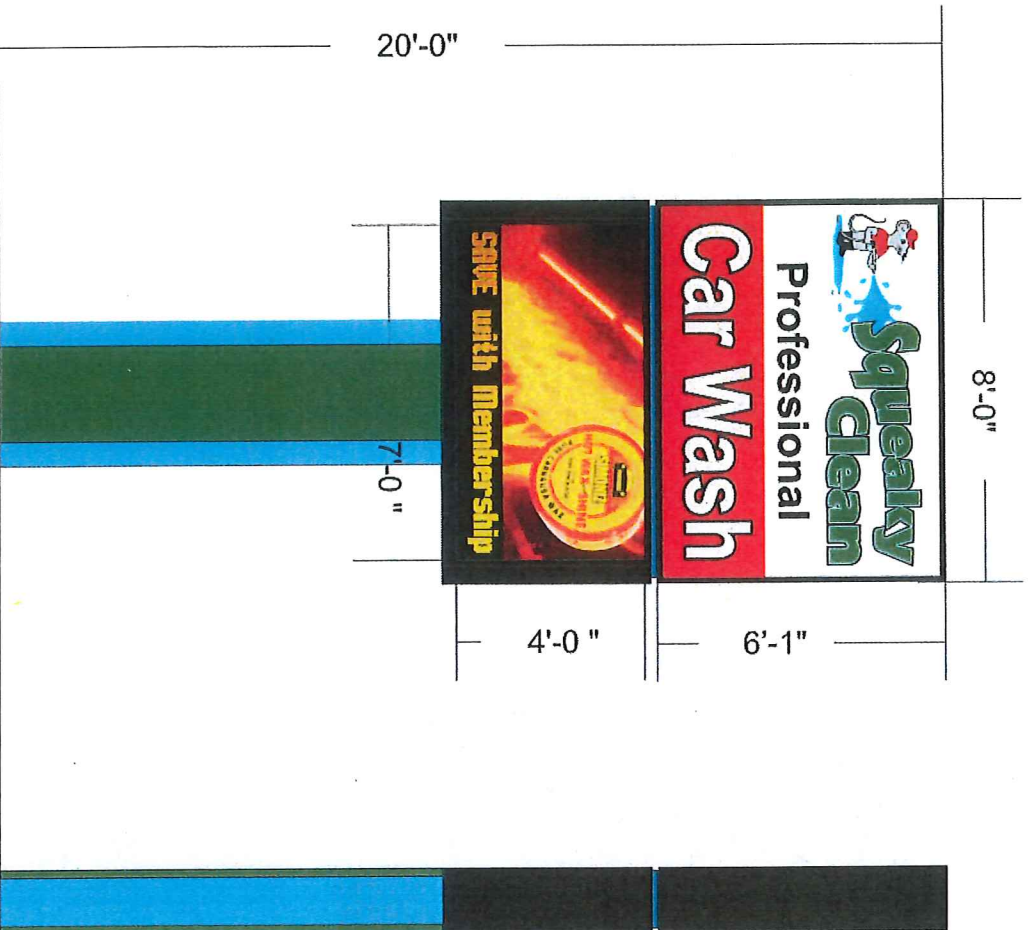
DATE	BY	REVISION

DATE: 04/18/18	DATE: 04/18/18
SCALE: AS SHOWN	SCALE: AS SHOWN
PROJECT: 518-20	PROJECT: 518-20
DRAWN: T.S.	DRAWN: T.S.
CHECKED: DM	CHECKED: DM
C103	C103



SHEET TITLE
 SITE LAYOUT
 AND GRADING
 PLAN

ADDITIONAL TO THE MAP NOT CONFORMING TO SECTION 224, SUBSECTION 1, PAR. 1, NEW YORK STATE EDUCATION LAW, AS AMENDED BY LAW. ALL COPYRIGHTED MATERIAL ARE VALID FOR THE MAP AND OTHER THEREOF ONLY. THIS MAP OR OTHER BEARS THE SEAL OF THE LICENSED PROFESSIONAL ENGINEER WHOSE EXPIRES MAY VARY.



Main Sign Cabinet to be 6'-1" H x 8'-0" W (48.7 SF), internally illuminated with LEDs. Sign faces to be Lexan with laminated, digitally printed graphics applied.

Lower Sign Cabinet to be 4'-5" H x 8'-0" W and feature an Electronic Message Center with a 4'H x 7"W (28 SF) Viewing Area.

Sign to be installed on 8" diameter steel post. Installation method to be determined by site conditions. Pole to have skirting with LED accent lighting. Accent also to be between Cabinets. See simulated Night View.



Project Description:
ONE (1) NEW 76.7 Square Foot, Double Sided, Internally Illuminated Freestanding Sign.

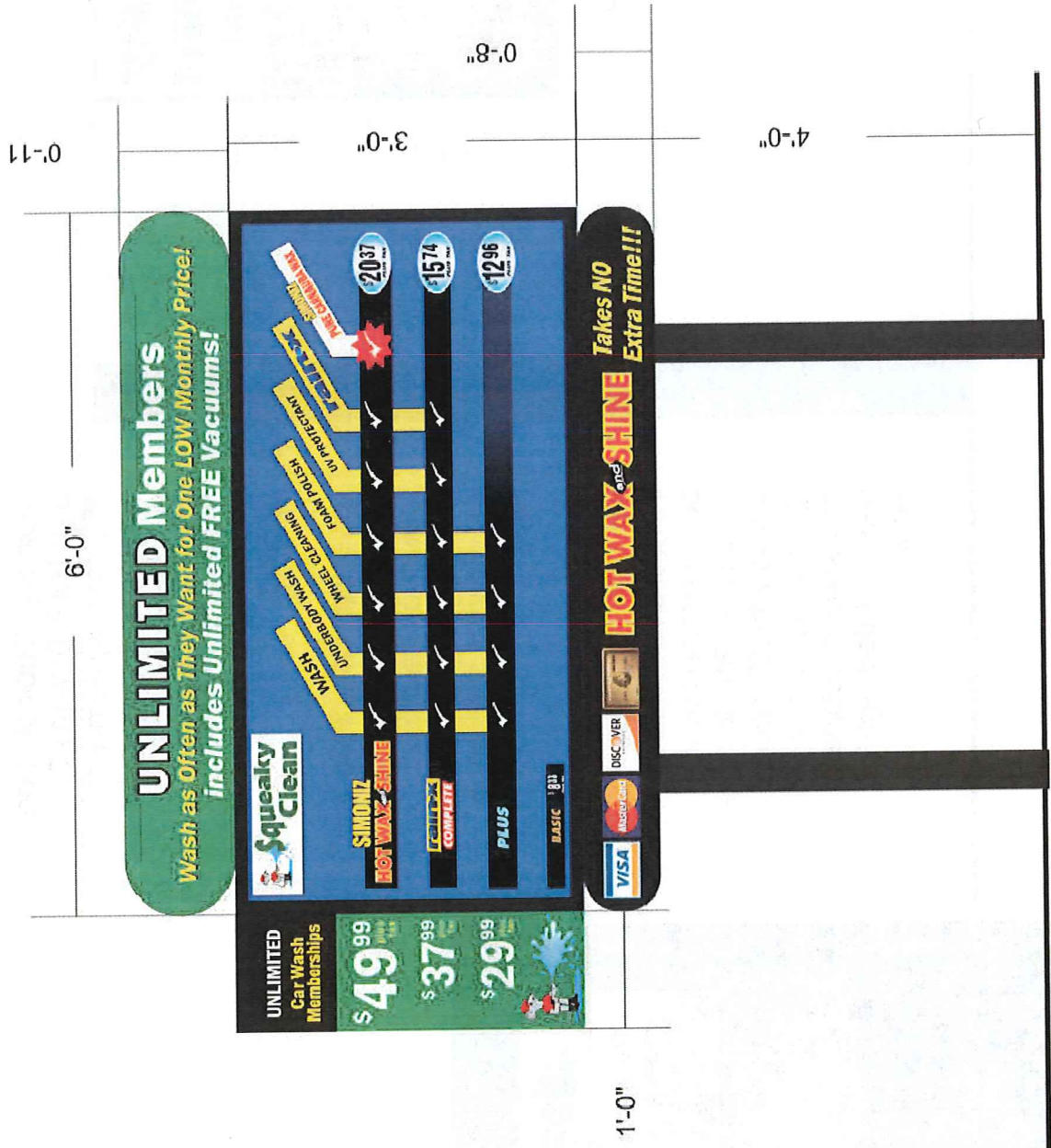


97 North Clinton Street
Poughkeepsie, NY 12601
845-471-4366 - phone
845-471-0987 - fax
www.gnsgroupltd.com

Client: Firehouse Architecture Squeaky Clean
File Name: New Cortland site.cdr
Date: 4/15/2019
RVSD

Client Approval:
Date:

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Sign Cabinet to be 3'-0" H
 x 6'-0" W, internally
 illuminated with LEDs.
 Sign faces to be
 translucent acrylic with
 laminated, digitally
 printed graphics applied.

Project Description:

ONE (1) NEW 18 Square Foot, Single Sided, Internally Illuminated, Freestanding Menu Sign. Sign shown with ancillary signage that is non-illuminated.



97 North Clinton Street
 Poughkeepsie, NY 12601
 845-471-4366 - phone
 845-471-0987 - fax
 www.gnsgroupitd.com

Client: Firehouse Architecture
 for Squeaky Clean
 Car Wash

File Name: Squeaky Clean\ 2018\ 11/30/2018
 New Cortland Site.cdr

Client Approval: _____

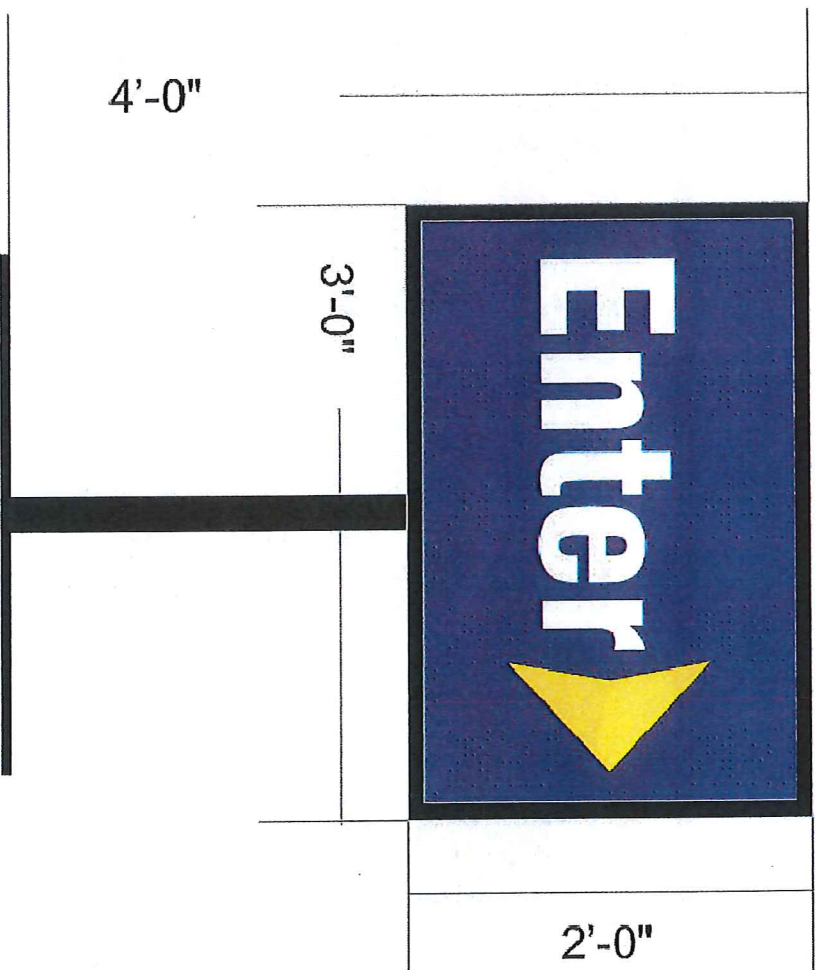
Date: _____

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Project Description:
 TWO (2) NEW 6 Square Foot, Double Sided, Internally Illuminated,
 Freestanding Directional Signs to assist customers in safe
 navigation of the site.



GNS
 GROUP

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 Poughkeepsie, NY 12601
 845-471-4366 - phone
 845-471-0987 - fax
 www.gnsgroup.com

Client:
 Firehouse Architecture
 for Squeaky Clean
 Car Wash

File Name:
 Squeaky Clean \ 2018 \
 New Cortland Site.cdr

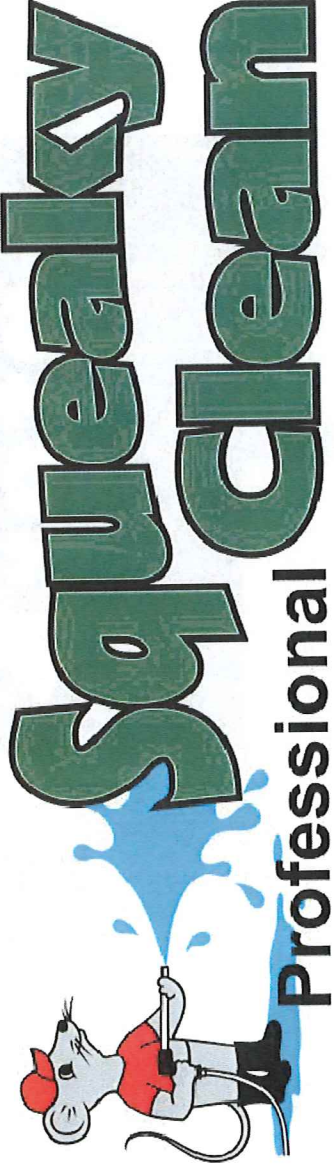
Date:
 12/5/2018
 RVSD
 12/10/2018

Client Approval:
 Date:

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8'-0"



CAR WASH

4'-0"

Sign Cabinet to be 4'-0"
H x 8'-0" W, internally
illuminated with LEDs.
Sign faces to be
translucent acrylic with
laminated, digitally
printed graphics
applied.

Project Description:

ONE (1) NEW 32 Square Foot, Single Sided, Internally Illuminated, Wall Mounted Sign.



97 North Clinton Street
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Client:

Firehouse Architecture
for Squeaky Clean
Car Wash

File Name:

Squeaky Clean\ 2018\ 11/30/2018
New Cortland Site.cdr

Date:

11/30/2018

Client Approval:

Date:

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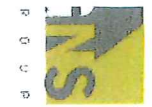
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Underwriters Laboratories Inc. Electrical to use U.L. Listed components and shall meet all N.E.C. standards.



Project Description:
 ONE (1) NEW 3.75 Square Foot, Single Sided, Non-Illuminated, Building Mounted, Directional Sign to assist customers in safe navigation of the site.

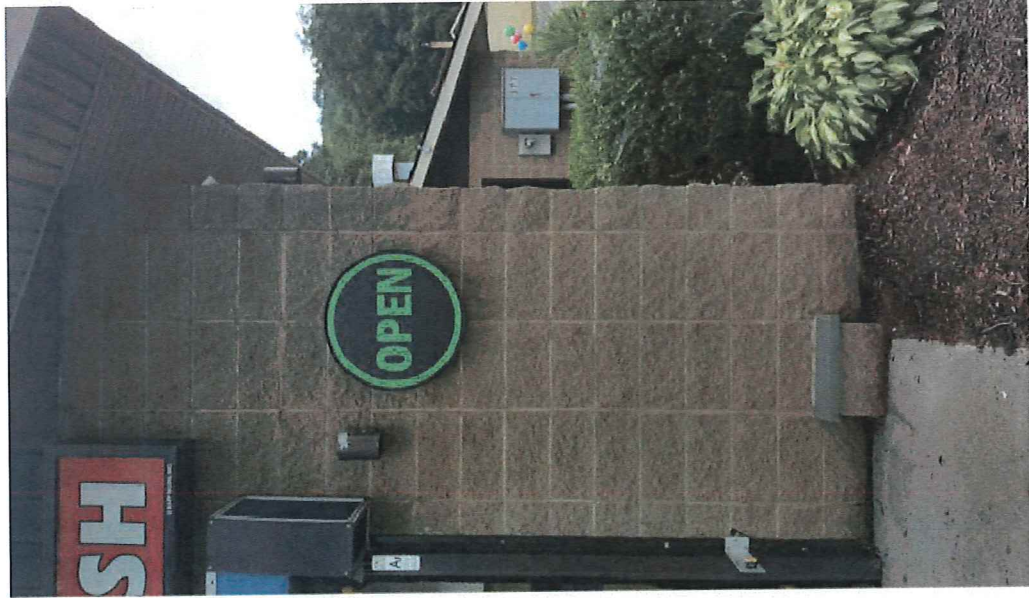


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 Poughkeepsie, NY 12601
 845-471-4366 - phone
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Client: Firehouse Architecture
File Name: Squeaky Clean\ 2018\
Date: 12/5/2018
 Squeaky Clean\ New Cortland Site.cdr
 for Squeaky Clean
 Car Wash

Client Approval:
Date:
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F



2'-0"

Project Description:

THREE (3) NEW 3.1 Square Foot, Single Sided, Internally-Illuminated, Building Mounted, Directional Sign to assist customers in safe navigation of the site.



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Car Wash

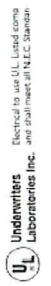
File Name: Squeaky Clean\ 2018\
New Cortland Site.cdr

Date: 12/5/2018
RVSD
12/10/2018

Client Approval:

Date:

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Based on UL Listed and approved components and materials.

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4'-0" 4'-0"



Sign Cabinet to be 4'-0" H x 4'-0" W, Internally illuminated with LEDs. Sign faces to be translucent acrylic with laminated, digitally printed graphics applied.

Project Description:
 TWO (2) NEW 16 Square Foot, Single Sided, Internally Illuminated, Building-Mounted Signs. Sign shown with ancillary signage that will be changeable.

GNS
 R O U P
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Client: Firehouse Architecture
File Name: Squedky Clean\ 2018\ 12/11/2018
Date: 12/11/2018
 for Squedky Clean
 New Cortland Site.cdr
 Car Wash

Client Approval:
Date:
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 11 Underwriters District 10 and 11, Lloyd's
 Indemnities Inc. and shall remain all the while.



H

3'-4"

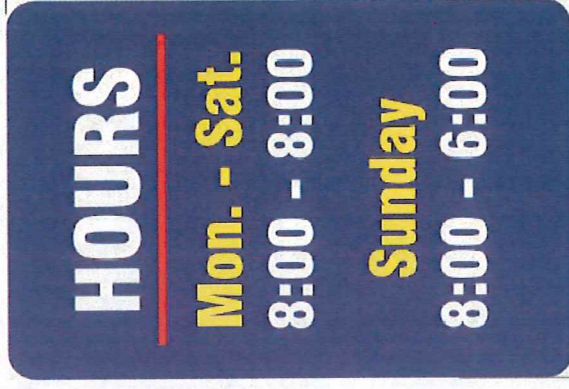
2'-2"



I

2'-6"

2'-0"



2'-0"

1'-4"



Project Description:

Various Single Sided, Non-Illuminated, Building Mounted Signs to include Hours of Operation, Policies and pricing.



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Client:

File Name:

Client Approval:

Firehouse Architecture Squeaky Clean\ 2018\ 12/7/2018

for Squeaky Clean

Car Wash

Date: 12/7/2018

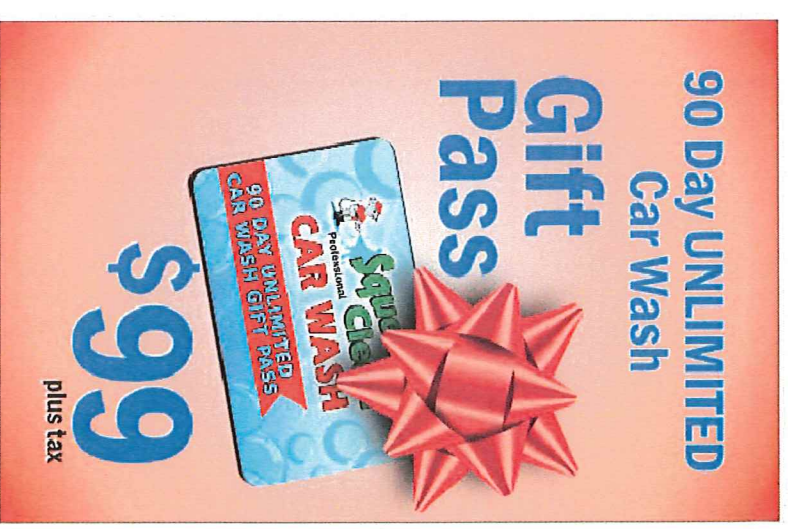
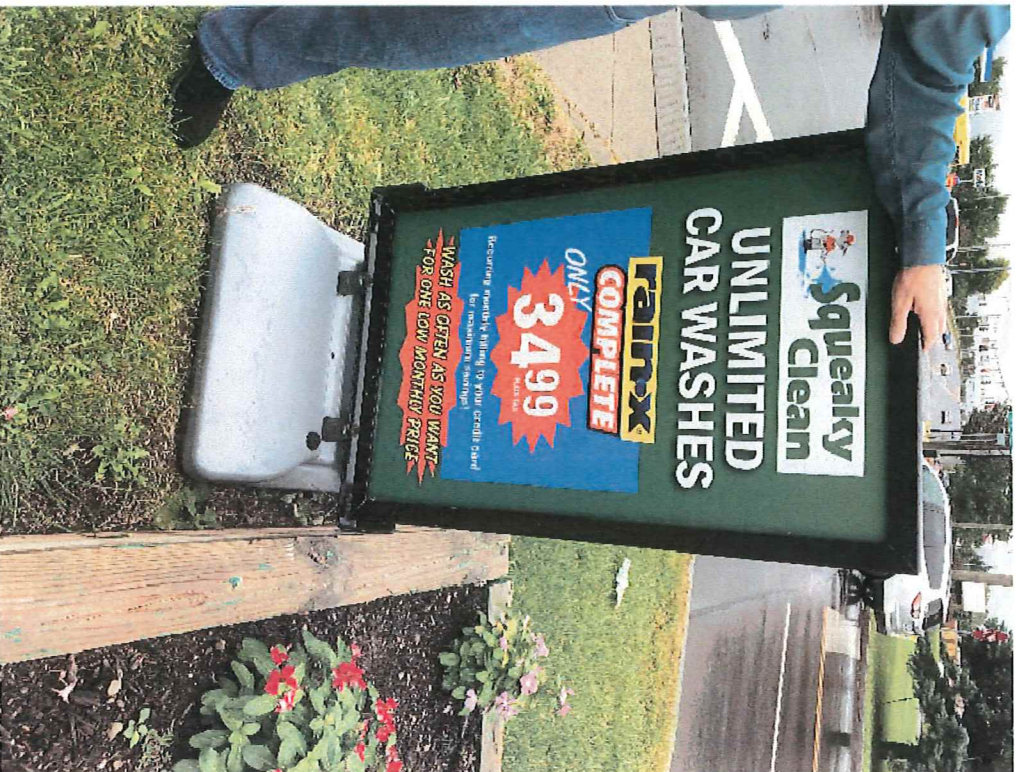
New Cortland Site.cdr

Date:



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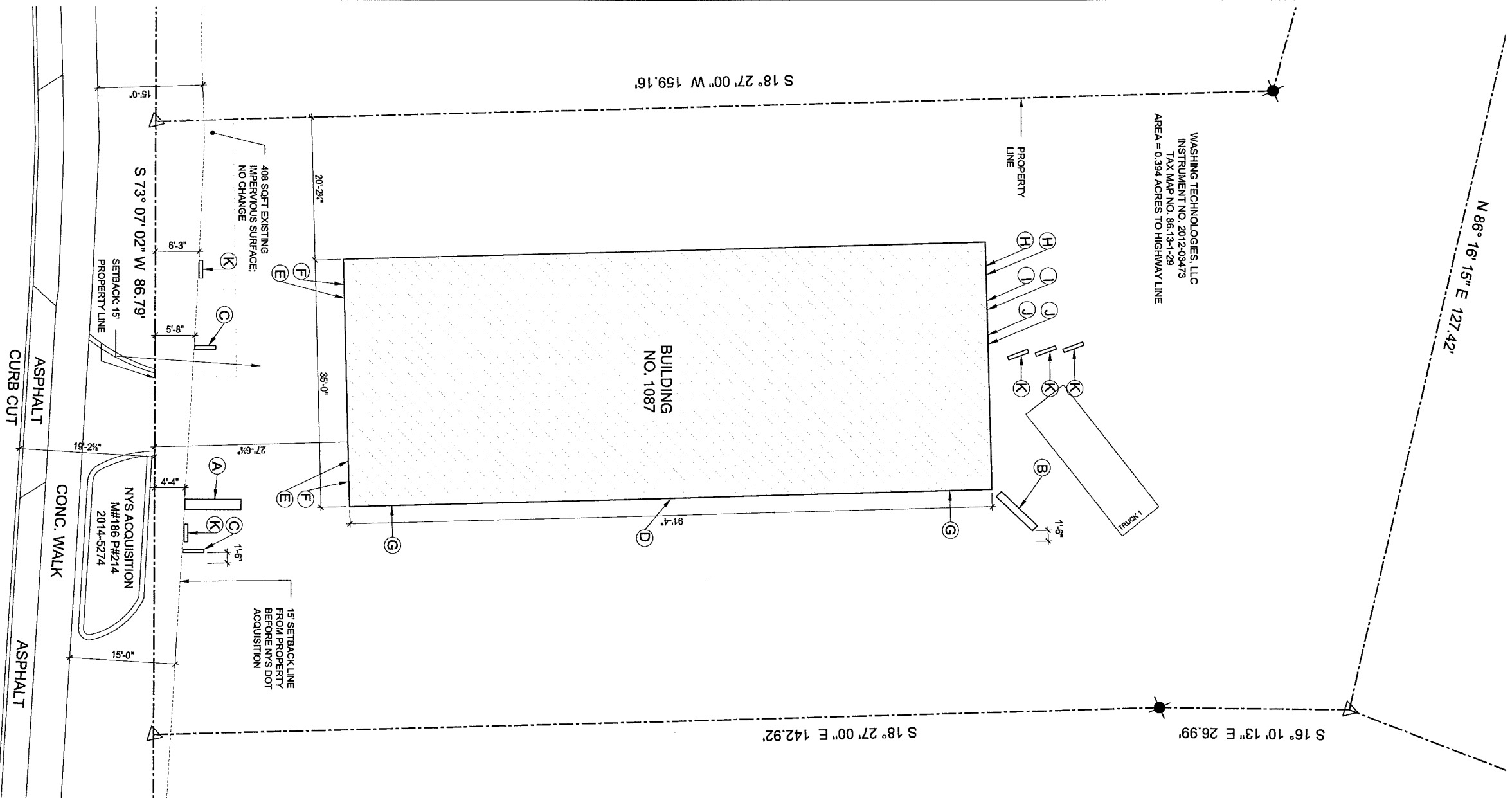
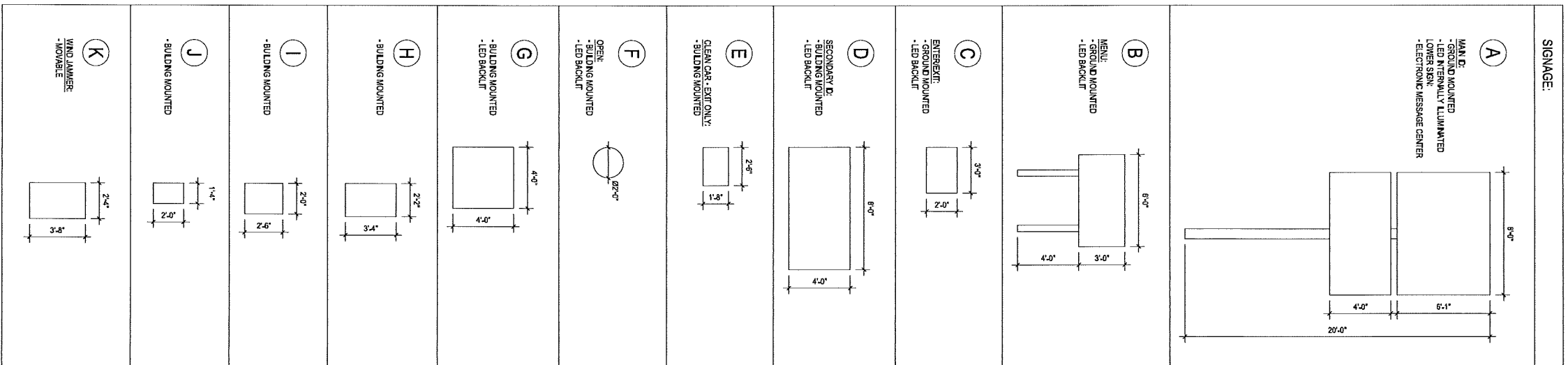
Project Description:
 Various single sided, Non-Illuminated, Temporary signs in moveable sign frames [Wind Jammers]. Signs typically 44"H x 28"W of a temporary nature - promotions or maintenance type messages.



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 for Squeaky Clean New Cortland Site.cdr
Date: Car Wash

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NEW YORK STATE ROUTE 222
(VARIABLE WIDTHS)

SQUEAKY CLEAN CARWASH
1087 NYS RTE 222
CORTLAND, NY 13045

Date: APR 15, 2019
Scale: AS NOTED

SIGNAGE
PLAN

A-101

FREHOUSEArchitecture AB, LLC
EMILY M. PETRINA, P.A.
LEED AP BD+C
136 W. State Street
Ithaca, NY 14850
emj@FREHOUSEArchitecture,LLC.com

DATE: ISSUE:

1 SIGNAGE PLAN
3/32" = 1'-0"



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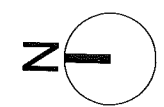
A-100

PLAN

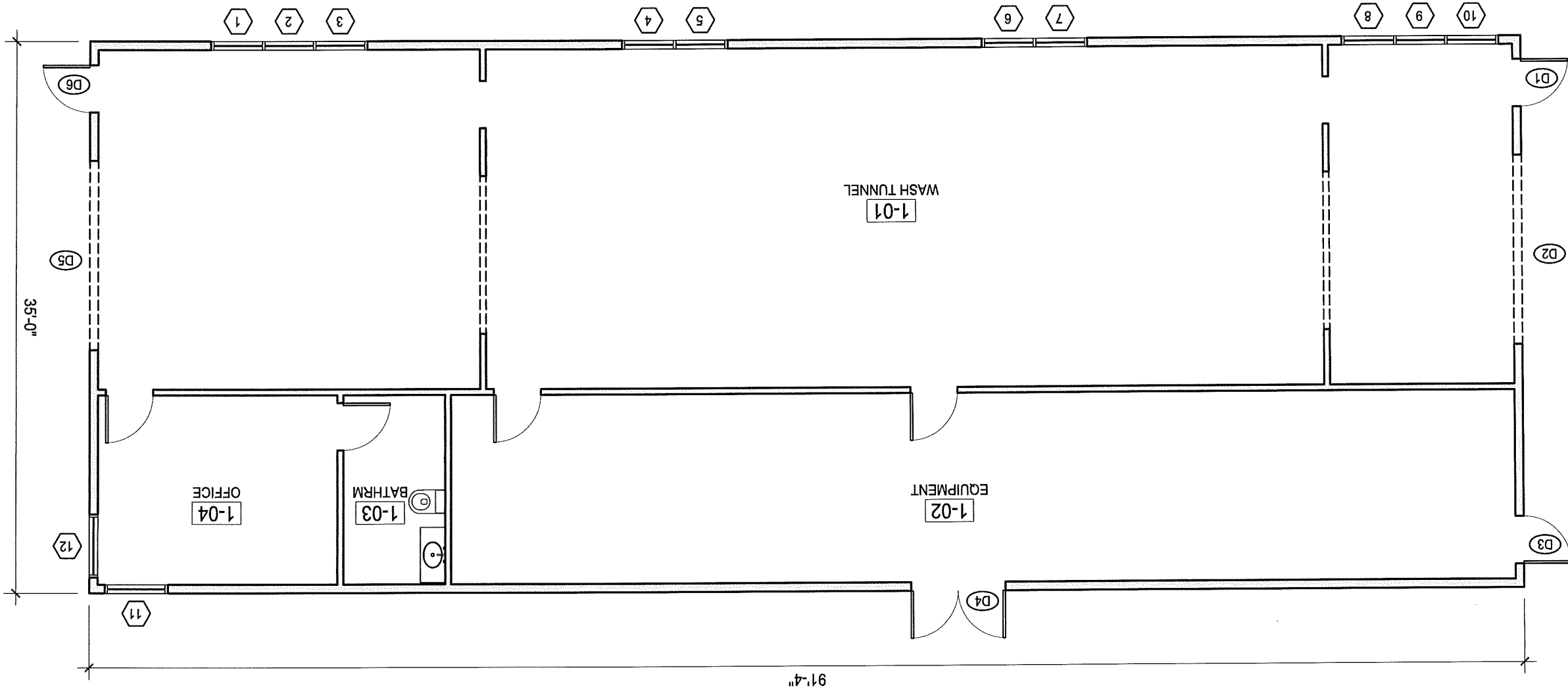
Date: APR 15, 2019
Scale: AS NOTED

SQUEAKY CLEAN CARWASH
1087 NYS RTE 222
CORTLAND, NY 13045

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EMILY M. PETRINA, RA
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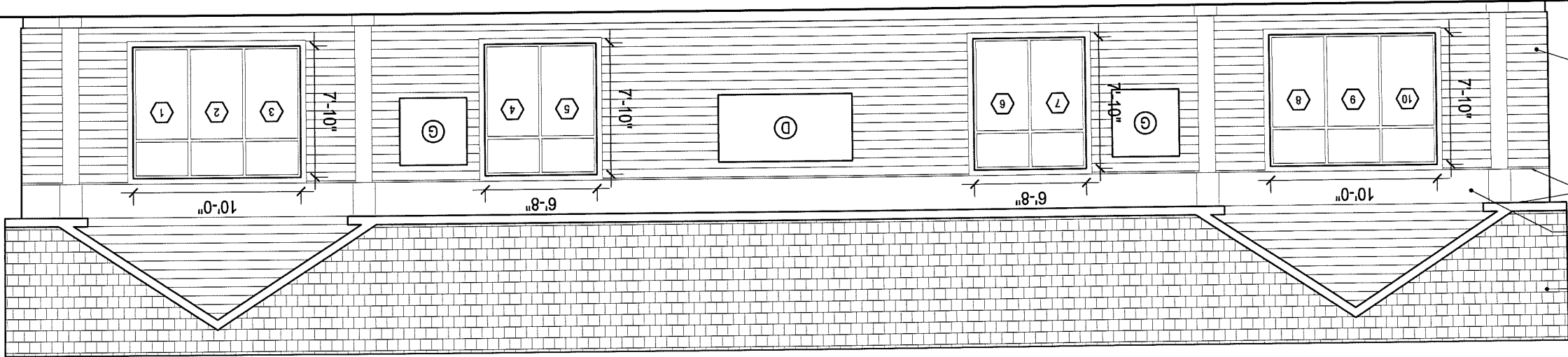
1
PLAN
1/8" = 1'-0"



T.O. ROOF
20'-2"

SOFFIT
12'-0"

GRADE
0'-0"



ASPHALT SHINGLES

FASCIA BOARD

EXTERIOR RATED
LED ROPE LIGHT AT
TOP & BOTTOM OF
FASCIA BOARD:
FULL BLDG LENGTH

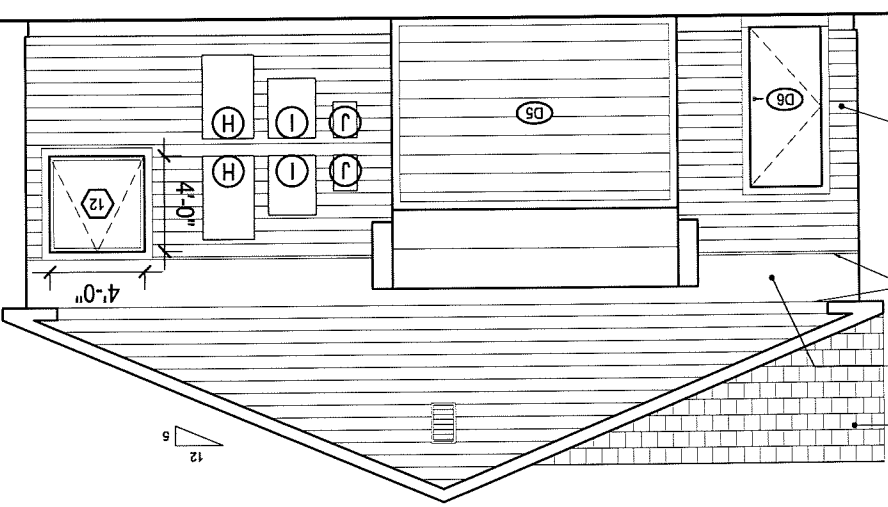
VINYL SIDING

2
EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

T.O. ROOF
20'-2"

SOFFIT
12'-0"

GRADE
0'-0"



ASPHALT SHINGLES

FASCIA BOARD

EXTERIOR RATED
LED ROPE LIGHT AT
TOP & BOTTOM OF
FASCIA BOARD:
FULL BLDG LENGTH

VINYL SIDING

1
EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

A-200

EXTERIOR ELEVATIONS

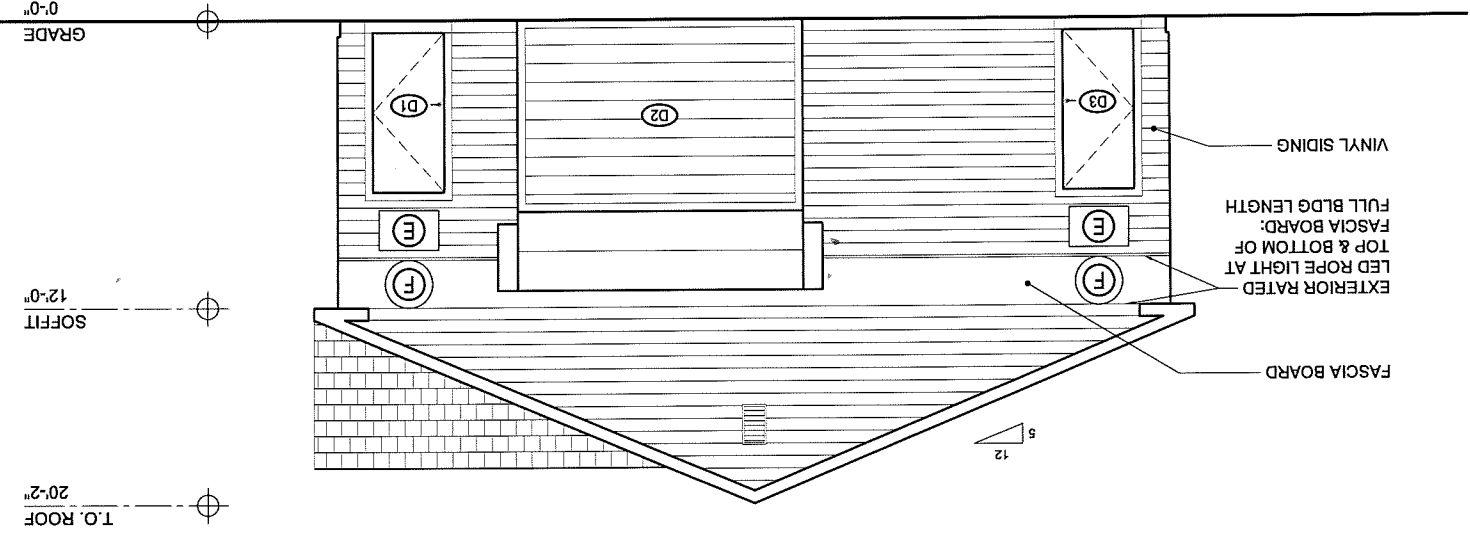
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SQUEAKY CLEAN CARWASH
1087 NYS RTE 222
CORTLAND, NY 13045

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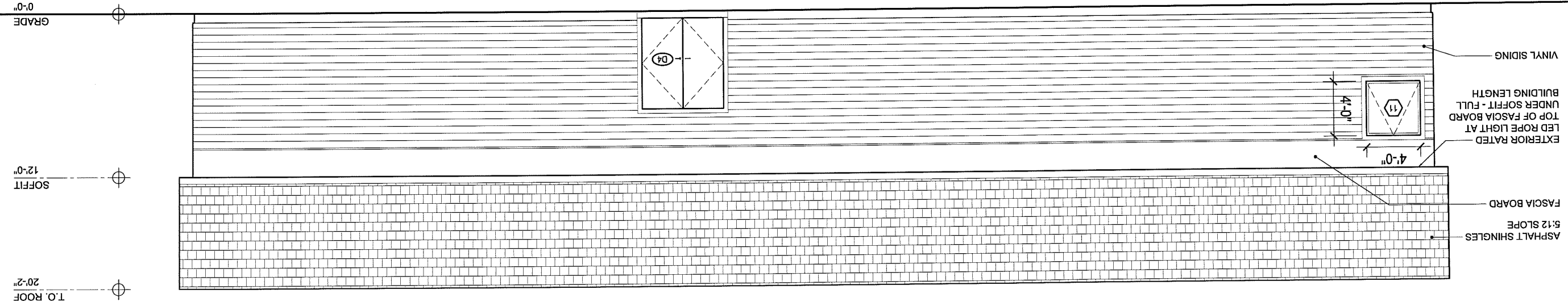
1
EXTERIOR ELEVATION - SOUTH

1/8" = 1'-0"



2
EXTERIOR ELEVATION - WEST

1/8" = 1'-0"



A-201

EXTERIOR ELEVATIONS

Date: APR 15, 2019
Scale: AS NOTED

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